Right Move Storage

Rifle, Colorado

Vicinity Map

Scope of Work

Construction of interior storage facility with vehicle storage awning and associate grading, drainage, and utility improvements.

SGM
118 West Sixth Street, Suite 200
Glenwood Springs, CO 81601
970.945.1004
www.sgm-inc.com

Project Engineer

Jeff Simonson, P.E. 0026152

Cilent

Caliber Company
8901 E Mountain View Road, #150
Scottsdale, AZ 85258

Project Contacts

Jeff Simonson	JeffS@sgm-inc.com	(970)384-9005

Construction Set

December 2025

Sheet List Table

Sheet Number	Sheet Title
1	Cover
2	General Notes
3	Utility General Notes
4	Legend & Abbreviations
5	Existing Conditions Map
6	Site Plan
7	Grading & Drainage Plan
8	E&S Control Plan
9	E&S Control Details
10	Utility Plan
11	Utility Details (1)
12	Utility Details (2)

COLORADO 811

UNCC 1-800-922-1987

SGM
118 West Sixth Street, Suite 200
Glenwood Springs, CO 81601
970.945.1004
www.sgm-inc.com

Right Move Storage
Rifle, Colorado

#	Revision	Date	By:
1			
2			
3			

Project Milestone: PRELIMINARY NOT FOR CONSTRUCTION

Job No.	2025-401.001
Drawn by:	AY
Print Date:	12.10.2025
QC: XX	PE: JSS
File:	Right Move- Cover

Title: Cover

Dwg No. 1

Of : 12

GENERAL REQUIREMENTS

1. WORK SHALL MEET STANDARDS SET BY THE PROJECT'S JURISDICTIONS OF AUTHORITY. THIS INCLUDES BUT IS NOT LIMITED TO HOA STANDARDS, SPECIAL DISTRICT STANDARDS, CITY/TOWN STANDARDS, COUNTY STANDARDS, AND STATE STANDARDS.
2. THE CONTRACTOR AND SUBCONTRACTORS SHALL HAVE A COPY OF ALL APPLICABLE STANDARDS, CURRENT APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS ON SITE AT ALL TIMES.
3. ALL WORK SHALL BE DONE TO THE HORIZONTAL AND VERTICAL INFORMATION SHOWN ON THE PLANS. NO FIELD CHANGES SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER.
4. THE DESIGN IS BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME OF DESIGN. THIS INCLUDES BUT IS NOT LIMITED TO SITE CONDITIONS, FEATURES AND STRUCTURES, AND TOPOGRAPHICAL INFORMATION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE FEATURES SHOWN. THE CONTRACTOR SHALL REVIEW AND VERIFY EXISTING PHYSICAL FEATURES AND ELEVATIONS OF THE CONDITIONS TO BE ENCOUNTERED DURING CONSTRUCTION.
5. ANY DISCREPANCY WITHIN THESE PLANS SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER.
6. LIMITS OF CONSTRUCTION SHALL BE 5' BEYOND GRADING LIMITS, BASE OF FILL SLOPES OR TOP OF CUT SLOPES, AND 20' EITHER SIDE OF THE CENTERLINE OF UTILITY INSTALLATIONS, BUT NOT BEYOND FENCE LINE, EASEMENT OR RIGHT–OF–WAY. PROJECT LIMITS SHALL ALSO INCLUDE ANY DESIGNATED BORROW AREAS, EXCAVATION DISPOSAL AREAS AND MATERIAL OR TOPSOIL STOCKPILE AREAS.
7. THE CONTRACTOR SHALL LIMIT CONSTRUCTION ACTIVITIES TO THOSE AREAS WITHIN THE LIMITS OF DISTURBANCE AS SHOWN ON THE PLANS. ANY DISTURBANCE BEYOND THESE LIMITS SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. CONSTRUCTION ACTIVITIES INCLUDE THE PARKING OF VEHICLES OR EQUIPMENT, DISPOSAL OF LITTER, AND ANY OTHER ACTION WHICH WOULD ALTER EXISTING CONDITIONS.
8. WORK INSIDE PUBLIC RIGHT–OF–WAY WILL REQUIRE APPROVAL FROM THE JURISDICTION OF AUTHORITY PRIOR TO CONSTRUCTION. USE OF PRIVATE PROPERTY FOR THE PROJECT OUTSIDE OF THE CONSTRUCTION LIMITS SHALL BE APPROVED IN WRITING BY THE PROPERTY OWNER WITH A COPY OF THIS APPROVAL PROVIDED TO THE ENGINEER PRIOR TO USAGE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR SAFELY PERFORMING ALL WORK IN ACCORDANCE WITH APPLICABLE OSHA STANDARDS AND REGULATIONS.
10. THE ENGINEER AND OWNER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
11. ALL PUBLIC AND PRIVATE UTILITY OWNERS SHALL BE NOTIFIED AT LEAST 48 HOURS (OR AS REQUIRED BY UTILITY COMPANIES) PRIOR TO COMMENCEMENT OF WORK ADJACENT TO THE UTILITY.
12. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE OWNER AND THEIR ASSIGNED REPRESENTATIVE. THE OWNER AND THEIR ASSIGNED REPRESENTATIVE RESERVE THE RIGHT TO ACCEPT OR REJECT ANY MATERIALS AND WORKMANSHIP THAT DO NOT CONFORM TO THE PLANS OR SPECIFICATIONS.
13. PROJECT ACCEPTANCE TESTING WILL BE PERFORMED BY THE OWNER. CONTRACTOR SHALL PROVIDE 48 HOUR MINIMUM NOTICE FOR REQUIRED TESTS.
14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE A SUFFICIENT NUMBER OF PRE–CONSTRUCTION PHOTOGRAPHS/VIDEOS TO RESOLVE ANY DISPUTES, WHICH MAY ARISE REGARDING THE CONDITIONS PRIOR TO AND SUBSEQUENT TO CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE COPIES OF THE PRE–CONSTRUCTION PHOTOGRAPHS/VIDEOS TO THE ENGINEER PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL IDENTIFY ANY APPARENT POTENTIAL PROBLEMS AT THAT TIME.
15. PROGRESS AND RECORD PHOTOGRAPHS/VIDEOS SHALL BE PROVIDED BY THE CONTRACTOR TO RESOLVE DISPUTES AND TO DOCUMENT THE WORK PERFORMED AS A SUPPLEMENT TO THE RECORD DRAWINGS. IN GENERAL, ANY PHOTOGRAPHS/VIDEOS SHOULD BE SUFFICIENT TO SHOW THAT ALL WORK WAS PROPERLY COMPLETED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
16. GEOTECHNICAL SUBSOIL STUDIES PROVIDED BY GEO QUEST OF RIFLE, CO.
17. THE CONTRACTOR SHALL PERFORM EXCAVATION, BACKFILL AND OTHER EARTHWORK ACTIVITIES IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE GEOTECHNICAL SUBSOIL STUDY.
18. SUBMITTALS SHALL BE PROVIDED FOR ALL MATERIALS TO BE INCORPORATED INTO THE PROJECT. SHOP DRAWINGS SHALL BE PROVIDED FOR ALL ITEMS HAVING DIMENSIONAL REQUIREMENTS. MATERIALS SUBMITTALS AND SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW. THE ENGINEER'S REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR ACCURACY, PROPER FIT OR PROPER FUNCTIONING AND PERFORMANCE OF THE WORK.
19. THE CONTRACTOR SHALL REVIEW AND APPROVE ALL SHOP AND LAYOUT DRAWINGS, PRODUCT DATA, SAMPLES, MATERIALS, MANUALS AND PLANS PRIOR TO SUBMITTING TO THE ENGINEER. APPROVAL BY THE CONTRACTOR INDICATES THAT THEY HAVE VERIFIED ALL MATERIALS AND FIELD MEASUREMENTS WITH THOSE SHOWN ON THE DRAWINGS. APPROVAL ALSO INDICATES THAT THE CONTRACTOR HAS COORDINATED INFORMATION CONTAINED IN THE SUBMITTAL WITH WORK REQUIREMENTS OF ALL TRADES AND WITH THE CONTRACT DOCUMENTS.
20. AT NO TIME SHALL MATERIALS BE SUBSTITUTED FOR THOSE SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS, UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE ENGINEER PRIOR TO RELATED CONSTRUCTION AT THE SITE. ANY DEVIATION FROM THE DRAWINGS AND SPECIFICATIONS SHALL BE ACCOMPANIED BY WRITTEN APPROVAL OF THE ENGINEER.
21. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY FACILITIES FOR THEIR OWN CONVENIENCE OR TO MEET LOCAL, STATE OR FEDERAL REQUIREMENTS, INCLUDING, BUT NOT LIMITED TO, POTABLE WATER, SANITARY WASTE FACILITIES, POWER, TELEPHONE, INTERNET, ETC. SANITARY FACILITIES SHALL BE LOCATED ON SITE AND SHALL BE FULLY OPERATIONAL BEFORE CONSTRUCTION CAN BEGIN. SANITARY FACILITIES SHALL BE FIRMLY SECURED AGAINST OVERTURNING AND SHALL BE PLACED AWAY FROM FLOW LINES OF STREETS, SWALES, RAIN GARDENS AND AWAY FROM INLETS. THE COST OF THESE FACILITIES WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE WORK.
22. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAILY CLEANING OF THE JOB SITE DURING AND AFTER CONSTRUCTION. A CONTINUING EFFORT SHALL BE MADE THROUGH THE DURATION OF THE CONTRACT TO KEEP ALL AREAS CLEAN AND FREE OF ALL RUBBISH, REMOVED VEGETATION, CONSTRUCTION WASTE, EMPLOYEE WASTE, AND OTHER OBJECTIONABLE MATERIALS GENERATED FROM THE PROJECT. WEEDS SHALL BE REMOVED IN DISTURBED AREAS PRIOR TO THEIR PRODUCING SEED AND PRIOR TO FINISHED GRADING AND LANDSCAPING INSTALLATION.
23. FINAL CLEAN–UP MUST BE APPROVED AND ACCEPTED BY THE OWNER BEFORE THE CONTRACT MAY BE CONSIDERED COMPLETE.
24. THE CONTRACTOR SHALL MAINTAIN TWO FULL SETS OF CONTRACT DRAWINGS MARKED UP TO INDICATE THE AS–BUILT CONDITIONS. THE DRAWINGS SHALL BE PROVIDED TO THE OWNER AND THE ENGINEER UPON COMPLETION OF THE WORK. WHERE PRACTICAL, THE CONTRACTOR IS TO PROVIDE AT LEAST TWO TIES FROM PHYSICAL MONUMENTS TO ALL FITTINGS, VALVES, MANHOLES, AND THE END OF ALL SERVICE LINES.

SURVEY NOTES

1. SOURCE OF MAPPING: EXISTING FIELD CONDITIONS WERE GENERATED BY A SURVEY PERFORMED BY DRAKE CONSULTING, INC., Rifle, CO.
2. THE DESIGN ELECTRONIC CAD FILE MAY BE PROVIDED TO THE CONTRACTOR FOR CONSTRUCTION STAKING. CONTRACTOR SHALL ACCEPT THE LIMITATIONS PROVIDED BY THE ENGINEER PRIOR TO USE OF THE ELECTRONIC CAD DATA. CONSTRUCTION SHOULD NOT COMMENCE UNTIL STAKING HAS BEEN APPROVED BY THE OWNER OR ENGINEER AND ANY DISCREPANCIES, INCONSISTENCIES, OR ERRORS ARE BROUGHT TO THE ATTENTION OF THE ENGINEER.
3. PROPERTY LINES, MONUMENTS, BENCHMARKS, SURVEY CONTROL, AND ADDITIONAL HISTORIC SURVEY INFORMATION CANNOT BE REMOVED FOR CONSTRUCTION. DISTURBED SURVEY ITEMS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE RESTORED BY A STATE OF COLORADO LICENSED LAND SURVEYOR.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION STAKING OF BOTH HORIZONTAL AND VERTICAL LAYOUT ON THIS PROJECT. THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT ENGINEER FOR INTERPRETATION AND INFORMATION IN STAKING OF THE PROJECT FOR CONSTRUCTION. CONTRACTOR'S SURVEYOR SHALL USE PERTINENT DATA SHOWN ON THE DRAWINGS TO PREPARE ANY DATA FILES THAT MAY BE NECESSARY FOR GPS INPUT FOR GRADING AND IMPROVEMENTS LAYOUT. XML AND LINEWORK FILES ARE NOT AVAILABLE FOR STAKING FOR THIS PROJECT WITHOUT PRIOR EXECUTION OF THE ELECTRONIC FILE TRANSFER AGREEMENT WITH RETAINER PROVIDED.
5. LOCATIONS OF CLEANOUTS, LIGHTS, SIGNAGE, JUNCTION BOXES, AND OTHER SIGNIFICANT SITE FEATURES TO BE STAKED FOR ENGINEER AND OWNER APPROVAL PRIOR TO WORK. CLEANOUTS, JUNCTION BOXES, AND ADJACENT GRADES TO BE RAISED ONE–HALF INCH AT ASPHALT/CONCRETE (OR 1" AT LANDSCAPING) TO PROVIDE POSITIVE DRAINAGE AWAY FROM FEATURES.

PERMITS

1. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS TO COMPLETE WORK AND SHALL COMPLY WITH THE PERMIT CONDITIONS. REQUIRED PERMITS INCLUDE, BUT NOT LIMITED TO, GRADING PERMIT, RIGHT–OF–WAY PERMIT, NOISE PERMIT, AND CONSTRUCTION STORMWATER PERMIT.
2. ANY PUMPING OF WATER MAY REQUIRE A DISCHARGE PERMIT FROM CDPHE WATER QUALITY CONTROL DIVISION AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ONLY CLEAN WATER THAT HAS NOT PICKED UP SEDIMENT FROM THE WORK AREA SHALL BE DISCHARGED FROM THE SITE WITHOUT PRIOR TREATMENT. WATER CONTAINING ELEVATED LEVELS OF SEDIMENT SHALL BE TREATED PRIOR TO DISCHARGE USING BEST MANAGEMENT PRACTICES AS APPROVED BY THE ENGINEER. CONDITIONS OF THE PERMIT INCLUDING MONITORING AND REPORTING WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE WORK.
3. REFER TO COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) LOW RISK DISCHARGE GUIDANCE DOCUMENT – DISCHARGE OF UNCONTAMINATED GROUNDWATER TO LAND https://www.colorado.gov/pacific/sites/default/files/WQ%20LOW%20RISK%20GW.pdf

ACCESS AND PROTECTION REQUIREMENTS

1. PROPERTY OWNER ACCESS SHALL BE MAINTAINED AT ALL TIMES BY THE CONTRACTOR.
2. IF TRAFFIC CONTROL IS NECESSARY, THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN FOR APPROVAL BY THE JURISDICTION OF AUTHORITY OR ENGINEER. TRAFFIC CONTROL PLAN SHALL INCLUDE METHODS OF HANDLING TRAFFIC (MHT'S) APPLICABLE TO THE WORK.
3. ALL CONSTRUCTION TRAFFIC CONTROL SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
4. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN PEDESTRIAN AND ADA COMPLIANT ACCESS DURING CONSTRUCTION.
5. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC RIGHT–OF–WAY OUTSIDE OF APPROVED WORKING HOURS. THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT AND OTHER OBSTRUCTIONS FROM THE PUBLIC RIGHT–OF–WAY.AT THE END OF EACH DAY'S WORK AND AT OTHER TIMES WHEN CONSTRUCTION OPERATIONS ARE SUSPENDED FOR ANY REASON.
6. THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL TREES, BUSHES, AND EXISTING IMPROVEMENTS INSIDE AND OUTSIDE THE LIMITS OF WORK NOT CALLED OUT FOR REMOVAL OR REPLACEMENT.
7. TREES AND VEGETATION SHALL BE PROTECTED WITH INSTALLATION OF CONSTRUCTION FENCING AT DRIP LINE OF TREES AND PLANTS NEAR THE WORK ZONE. HAND EXCAVATION REQUIRED AT ROOT ZONES WHERE PROPOSED PAVING OR UTILITY WORK IS WITHIN DRIPLINE OF TREES. TREES AND VEGETATION THAT ARE NOTED FOR PROTECTION AND DAMAGED SHALL BE REPLACED AT THE CONTRACTOR'S COST.
8. THE CONTRACTOR SHALL REPAIR OR REPLACE ALL AFFECTED OR DAMAGED LANDSCAPING, INCLUDING IRRIGATION, WITH SIMILAR MATERIALS AND PLANTS. SOD SHALL BE USED TO REPLACE LAWN.
9. THE CONTRACTOR SHALL PROTECT THE EXISTING DRAINAGE STRUCTURES AND REROUTE ANY RUNOFF AS NECESSARY DURING CONSTRUCTION ACTIVITIES TO PREVENT EROSION AND DAMAGE.
10. ALL EXISTING UTILITIES, EITHER UNDERGROUND OR OVERHEAD, SHALL BE MAINTAINED IN CONTINUOUS SERVICE THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY DAMAGE TO, OR INTERRUPTION OF SERVICES CAUSED BY THE CONSTRUCTION.

TEMPORARY EROSION CONTROLS MEASURES

1. THE CONTRACTOR SHALL IMPLEMENT EROSION CONTROL MEASURES (A.K.A. BEST MANAGEMENT PRACTICES OR BMPs), TO CONTROL EROSION AND SEDIMENTATION DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL TEMPORARY EROSION CONTROL MEASURES.
2. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO ANY SITE GRADING OR EXCAVATION ACTIVITIES. CONTRACTOR SHALL ALSO IMPLEMENT APPROPRIATE CONTROL MEASURES FOR PROTECTION OF WETLANDS, SENSITIVE HABITAT, AND EXISTING VEGETATION FROM GROUND DISTURBANCE AND OTHER POLLUTANT SOURCES BEFORE CONSTRUCTION BEGINS.
3. THE CONTRACTOR SHALL INSPECT THE CONSTRUCTION SITE, INCLUDING ALL BMP'S, STORAGE CONTAINERS, AND CONSTRUCTION EQUIPMENT, AT LEAST EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OR SNOW MELT THAT MAY CAUSE SURFACE EROSION.
4. THE CONTRACTOR SHALL KEEP A RECORD OF ALL INSPECTIONS ONSITE AND AVAILABLE FOR REVIEW. INSPECTION REPORTS MUST IDENTIFY ANY INCIDENTS OF NON–COMPLIANCE WITH THE TERMS AND CONDITIONS OF THE CONSTRUCTION STORMWATER PERMIT.
5. CONTROL MEASURES SHALL BE MAINTAINED, INCLUDING REMOVAL OF COLLECTED SEDIMENT WHEN SILT DEPTH IS 50 PERCENT OR MORE OF THE EFFECTIVE HEIGHT OF THE EROSION CONTROL DEVICE. DAMAGES RESULTING FROM FAILURE TO MAINTAIN CONTROL MEASURES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
6. THE STORMWATER MANAGEMENT PLAN SHALL BE UPDATED TO REFLECT NEW OR REVISED CONTROL MEASURES DUE TO CHANGES IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE OF THE CONSTRUCTION SITE. UPDATES MUST BE MADE WITHIN 72 HOURS FOLLOWING THE CHANGE IN CONTROL MEASURES.
7. VEHICLE TRACKING PADS SHALL BE USED AT ALL VEHICLE AND EQUIPMENT EXIT POINTS FROM THE SITE TO PREVENT SEDIMENT EXITING THE LIMITS OF CONSTRUCTION OF THE PROJECT SITE. WHENEVER SEDIMENT COLLECTS ON THE PAVED SURFACE, THE SURFACE SHALL BE CLEANED. STORM DRAIN INLET PROTECTION SHALL BE IN PLACE BEFORE SHOVELING, SWEEPING OR VACUUMING. SWEEPING SHALL BE COMPLETED WITH A PICKUP BROOM OR EQUIPMENT CAPABLE OF COLLECTING SEDIMENT. STREET WASHING WILL NOT BE ALLOWED.
8. ERODIBLE STOCKPILES (INCLUDING TOPSOIL) SHALL BE CONTAINED WITH ACCEPTABLE CONTROL MEASURES AT THE TOE OF THE STOCKPILE THROUGHOUT CONSTRUCTION. STOCKPILES THAT ARE INACTIVE FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH HAY OR STRAW MULCH WITH TACKIFIER, BONDED FIBER MATRIX, HYDRAULIC MULCH WITH TACKIFIER OR SPRAY–ON MULCH BLANKET.
9. PERMANENT STABILIZATION REQUIREMENTS SHALL BE COMPLETED WITHIN 4 DAYS OF PLACEMENT OF THE TOPSOIL. PERMANENT STABILIZATION IS THE COVERING OF DISTURBED AREAS WITH TOPSOIL, SEEDING, MULCHING WITH TACKIFIER AND SOIL RETENTION COVERINGS.
10. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND ANY OTHER CHEMICALS SHALL HAVE SECONDARY CONTAINMENT OR EQUIVALENT PROTECTION TO CONTAIN POTENTIAL SPILLS.
11. A CONSTRUCTED CONCRETE WASHOUT OR PREFABRICATED CONCRETE WASHOUT STRUCTURE THAT WILL CONTAIN WASHOUT FROM CONCRETE PLACEMENT, CONSTRUCTION EQUIPMENT CLEANING OPERATIONS AND RESIDUE FROM CUTTING, CORING, GRINDING, AND HYDRODEMOLITION MUST BE PROVIDED AND MAINTAINED.
12. ALL DRAINAGE STRUCTURES ARE TO BE PROTECTED BY EROSION AND SEDIMENT CONTROL MEASURES.
13. DUST MITIGATION SHALL BE PROVIDED BY THE CONTRACTOR AS NECESSARY. WATER SHALL BE USED AS A DUST PALLIATIVE WHERE AND WHEN REQUIRED. SWEEPING AND CLEANING STREETS AND SIDEWALKS DURING THE CONSTRUCTION WILL BE DIRECTED BY THE AFFECTED JURISDICTIONS AND PERFORMED AS NECESSARY BY THE CONTRACTOR.

CONCRETE CONSTRUCTION

1. CONCRETE FOR SIDEWALKS, DRIVEWAYS, CURBS AND GUTTERS SHALL BE CDOT CLASS B OR D. APPROVED MACRO–FIBER REINFORCEMENT MAY BE REQUIRED AS DIRECTED BY THE ENGINEER.
2. OWNER TO APPROVE ALL CONCRETE FINISHING, JOINT PATTERNS AND COLORING REQUIREMENTS PRIOR TO CONSTRUCTION. SUBMIT JOINT LAYOUT PLAN TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
3. EXPANSION JOINTS SHALL BE INSTALLED WHEN ABUTTING EXISTING CONCRETE OR FIXED STRUCTURE. EXPANSION JOINT MATERIAL SHALL BE 1/2 IN. THICK AND SHALL EXTEND THE FULL DEPTH OF CONTACT SURFACE.
4. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO PLACEMENT OF FLATWORK OF SITE CONDITIONS OR DISCREPANCIES WHICH PREVENT REQUIRED GRADES FROM BEING ACHIEVED.
5. ALL RAMPS, STAIRS, EDGE PROTECTION, AND RAILINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA STANDARDS. ACCESSIBLE CURB RAMPS SHALL CONFORM TO THE CDOT M–STANDARDS (SEE DETAIL M–608–1, ETC). ACCESSIBLE FEATURES WITHIN THE PUBLIC RIGHT–OF–WAY SHALL BE CONSTRUCTED TO CONFORM TO THE REQUIREMENTS OF THE LOCAL AUTHORITY HAVING JURISDICTION.
6. THE EXISTING AND PROPOSED ELEVATIONS OF FLATWORK, SIDEWALKS, CURBS, THRESHOLDS, PAVING, ETC. AS SHOWN IN THE PLANS MAY BE BASED ON EXTRAPOLATION OF FIELD SURVEY DATA, EXISTING CONDITIONS, AND DATA PROVIDED BY OTHERS. AT CRITICAL AREAS AND SITE FEATURES, CONTRACTOR SHALL HAVE FORMWORK INSPECTED AND APPROVED BY OWNER, OWNER'S REPRESENTATIVE, OR ENGINEER PRIOR TO PLACING CONCRETE. MINOR ADJUSTMENTS, AS APPROVED, TO PROPOSED GRADES, INVERTS, ETC. MAY BE REQUIRED TO PREVENT PONDING OR SLOPES NOT IN CONFORMANCE WITH THE JURISDICTIONAL STANDARDS. ALL FLATWORK MUST PREVENT PONDING AND PROVIDE POSITIVE DRAINAGE AWAY FROM EXISTING AND PROPOSED BUILDINGS, WALLS, ROOF DRAIN OUTFALLS, ACROSS DRIVES AND WALKS TOWARDS THE PROPOSED INTENDED DRAINAGE FEATURES AND CONVEYANCES.

EARTHWORK

1. TOPSOIL IS TO BE STRIPPED PRIOR TO COMMENCING ROUGH GRADING. STRIPPED TOPSOIL GENERATED ONSITE IS TO BE STOCKPILED AND USED FOR RE–VEGETATION.
2. ANY OPEN EXCAVATION LEFT UNATTENDED SHALL BE BARRICADED OR FENCED OFF BY THE CONTRACTOR.
3. IF BEDROCK IS ENCOUNTERED CONTACT ENGINEER BEFORE PROCEEDING WITH WORK IN AREA OF BEDROCK.
4. IF GROUNDWATER IS ENCOUNTERED CONTACT ENGINEER BEFORE PROCEEDING WITH WORK IN AREA OF GROUNDWATER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS OR EROSION ON ABUTTING PROPERTIES. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND MEETING REQUIREMENTS OF CDPHE WATER QUALITY CONTROL DIVISION DEWATERING PERMIT FOR ANY DEWATERING DISCHARGES.
5. ONSITE NATIVE MATERIAL CAN BE USED FOR STRUCTURAL BACKFILL IF APPROVED BY THE GEOTECHNICAL, CIVIL AND STRUCTURAL ENGINEERS, AS APPLICABLE. MATERIAL SHALL BE SCREENED, PLACED IN LIFTS AND COMPACTED PER GEOTECHNICAL ENGINEER'S RECOMMENDATION.
6. THE CONTRACTOR SHALL CERTIFY THAT ALL AGGREGATES USED ON THIS PROJECT ARE FREE FROM HAZARDOUS COMPONENTS IN EXCESS OF THE THRESHOLD CONCENTRATIONS ESTABLISHED BY THE E.P.A.
7. ANY MATERIAL NOT SUITABLE FOR EMBANKMENT OR BACKFILL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR AS PART OF THE WORK.
8. ALL MATERIALS REQUIRING COMPACTION MUST MEET APPLICABLE CDOT EMBANKMENT OR STRUCTURAL BACKFILL STANDARDS.
9. PLACEMENT OF AGGREGATE BASE COURSE OR PAVING SHALL NOT BEGIN UNTIL THE ENGINEER HAS APPROVED THE SUBGRADE. EXISTING SUBGRADE MATERIAL SHALL BE SCARIFIED TO A DEPTH OF 12 INCHES, MOISTURE CONDITIONED AND RECOMPACTED. THE SUBGRADE SHALL BE PROOF ROLLED AND APPROVED BY THE ENGINEER PRIOR TO THE PLACEMENT OF ANY SUBSEQUENT STRUCTURAL LAYERS. AREAS THAT DEFORM UNDER HEAVY WHEEL LOADS AS DETERMINED BY THE ENGINEER ARE NOT STABLE AND SHALL BE REMOVED AND REPLACED TO ACHIEVE A STABLE SUBGRADE. THE ENGINEER SHALL APPROVE THE TYPE AND WEIGHT OF THE VEHICLE TO BE USED FOR THE PROOF ROLL. THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT AND LABOR NECESSARY FOR THE PROOF ROLL. PROOF ROLLING WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE WORK.
10. WATER FOR COMPACTION WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE WORK.
11. MOISTURE DENSITY CONTROL WILL BE REQUIRED FOR FULL DEPTH OF EMBANKMENTS AND AGGREGATE BASE COURSE IN PAVED AREAS.
12. ENSURE THAT DRAINAGE IS AWAY FROM ALL STRUCTURES IN ALL DIRECTIONS A MINIMUM OF 6 INCHES IN THE FIRST 10' OR 3 INCHES IN THE FIRST 10' IN PAVED OR CONCRETE AREAS, OR AS DIRECTED IN THE GEOTECHNICAL REPORT.

DEMOLITION AND REMOVALS

1. ALL SIGNS REMOVED FROM THE RIGHT–OF–WAY DURING CONSTRUCTION WILL BE STORED ONSITE OR RETURNED TO THE JURISDICTION, AS DIRECTED. CONTRACTOR TO RECORD PHOTOS OF THE AREA AND REINSTALL SIGNS TO THEIR ORIGINAL LOCATION.
2. SAWCUT ALL ASPHALT AND CONCRETE PAVEMENT TO BE REMOVED. FINAL LIMITS OF REQUIRED SAWCUTTING AND PATCHING MAY VARY FROM LIMITS SHOWN ON PLANS. CONTRACTOR TO PROVIDE SAWCUT AND PATCH WORK TO ACHIEVE POSITIVE DRAINAGE AND A SMOOTH TRANSITION TO EXISTING ASPHALT WITHIN SLOPES ACCEPTABLE TO THE ENGINEER AND WITHIN MUNICIPAL STANDARDS. CONTRACTOR SHALL PROVIDE ADDITIONAL SAWCUTTING AND PATCHING AT UTILITY WORK, CONNECTION POINTS TO EXISTING PAVEMENT AND FEATURES, ETC. THAT MAY NOT BE DELINEATED ON PLANS.
3. ALL EXCESS MATERIALS GENERATED FROM THE SITE ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY.

REVEGETATION

1. DISTURBED AREAS SHALL BE REVEGETATED.
2. DISTURBED AREAS SHALL BE FINE GRADED AND RAKED TO REMOVE ALL ROCKS OVER THREE INCHES IN DIAMETER. PLACE TOPSOIL TO A DEPTH OF FOUR INCHES ON ALL DISTURBED AREAS.
3. SOIL RETENTION BLANKETS SHALL BE INSTALLED ON SLOPES STEEPER THAN 2H:1V.
4. RESEED DISTURBED AREAS ACCORDING TO THE SEED MIX AND APPLICATION RATE SPECIFIED IN THE LANDSCAPING PLAN, PREPARED BY OTHERS.
5. SEEDING MATERIAL TO BE USED FOR RECLAMATION:

APPLICATION RATE: 25 LBS. PLS PER ACRE			
COMMON NAME	BOTANICAL NAME	%	LBS. PLS PER ACRE
INDIAN RICEGRASS	ORYZOPSIS HYMENOIDES	17%	4.3
IDAHO FESCUE	FESTUCA IDAHOENSIS	17%	4.3
RABBITBRUSH	CHRYSOTHAMNUS NAUSEOUSUS	10%	2.5
BEARDLESS BLUEBUNCH WHEATGRASS	PSEUDOREGNERIA SPICATA INERME	10%	2.5
BLUEBUNCH WHEATGRASS	PSEUDOREGNERIA SPICATA	10%	2.5
WESTERN WHEATGRASS	PASCOPYRUM SMITHII	10%	2.5
BASIN WILDRYE	LEYMUS CINEREUS	6%	1.5
MOUNTAIN SAGE	ARTEMESIA TRIDENTATA	5%	1.3
SANDBERG'S BLUEGRASS	POA SECUNDA	5%	1.3
SIDE–OATS GRAMA	BOUTELOUS CURTIPENDULA	4%	1.0
NEEDLE AND THREAD	STIPA COMATA	2%	0.5
BLUE GRAMA	BOUTELOUA GRACILIS	2%	0.5
GALLETA	HILARIA JAMESII	2%	0.5

SGM
118 West Sixth Street, Suite 200
Glenwood Springs, CO 81601
970.945.1004
www.sgm-inc.com

Right Move Storage
Rifle, Colorado

#	Revision	Date	By:
1			
2			
3			

Project Milestone: PRELIMINARY NOT FOR CONSTRUCTION

Job No.	2025-401.001
Drawn by:	AY
Print Date:	12.10.2025
QC: XX	PE: JSS
File:	Right Move- Cover

Title: General Notes

Dwg No. 2

Of: 12

i:\2025\2025-401-modstorage\001-civil\H-Dwgs\Civil\ps-sheetset\Right Move- Cover.dwg Plotted: 12/10/2025 9:45 AM By: Andrew Young

EXISTING UTILITY NOTES (NON–SUE)

EXISTING UTILITY NOTES – NON "SUE–REQUIRED PROJECT"

1. THIS IS NOT A "SUBSURFACE UTILITY ENGINEERING–REQUIRED PROJECT," AS SET FORTH IN THE 8/8/2018 COLORADO STATE LAW. SEE CHECKLIST BELOW FOR ENGINEER'S BASIS FOR THIS DETERMINATION. (NOTE: A PROJECT MUST MEET ALL 4 CONDITIONS)

COLORADO REVISED STATUTES (CRS) 2018 TITLE 9–1.5–102 SUBSURFACE UTILITY ENGINEERING (SUE) REQUIRED PROJECT COMPLIANCE CHECKLIST

1	9–1.5–1 02–6.8.A	PROJECT INVOLVES CONSTRUCTION CONTRACT WITH A PUBLIC ENTITY		YES	X	NO
2	9–1.5–1 02–6.8.B	PROJECT INVOLVES PRIMARILY HORIZONTAL CONSTRUCTION AND DOES NOT INVOLVE PRIMARILY THE CONSTRUCTION OF BUILDINGS		YES	X	NO
3A	9–1.5–1 02–6.8.C .I.A	EXCAVATION FOOTPRINT EXCEEDS 2–FEET DEPTH AND IS A CONTIGUOUS 1,000–SQUARE FEET; OR		YES	X	NO
3B	9–1.5–1 02–6.8.C .I.B	INVOLVES UTILITY BORING		YES	X	NO
4	9–1.5–1 02–6.8.D	PROJECT REQUIRES THE DESIGN SERVICES OF A LICENSED PROFESSIONAL ENGINEER (P.E.)		YES	X	NO
SUMMARY	9–1.5–1 03–2.4	REQUIRED TO MEET OR EXCEED THE ASCE 38 STANDARD AND CO SUE LAW?		YES	X	NO

2. EXISTING UTILITIES ARE DEPICTED ACCORDING TO THE BEST AVAILABLE INFORMATION THAT WAS PROVIDED BY THE UTILITY OWNERS AND SURFACE FEATURES AT THE TIME OF THE SURVEY. RELIANCE UPON THIS UTILITY DATA FOR RISK MANAGEMENT PURPOSES DOES NOT RELIEVE THE PROJECT OWNER, CONTRACTOR, OR UTILITY COMPANY FROM FOLLOWING ALL APPLICABLE UTILITY DAMAGE PREVENTION STATUTES, POLICIES, AND/OR PROCEDURES DURING EXCAVATION. PRIOR TO EXCAVATION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 811 OR 800–922–1987, TO VERIFY EXISTING UTILITIES AND HAVE LOCATIONS OF UNCC REGISTERED LINES MARKED BY MEMBER COMPANIES.
3. OTHER UTILITIES MAY BE PRESENT WHICH WERE NOT IDENTIFIED IN THIS PLAN SET OR PRIOR TO CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE DUE–DILIGENCE AND ENACT GOOD PRACTICES WHEN EXCAVATING NEAR POTENTIAL CONFLICT AREAS AND REDUCE POTENTIAL DAMAGE TO UTILITIES AS MUCH AS POSSIBLE.
4. SHOULD THE CONTRACTOR ENCOUNTER UNKNOWN AND/OR ABANDONED UTILITIES THE CONTRACTOR SHALL VERIFY WITH THE RESPECTIVE UTILITY OWNER THAT THE UTILITY IS INACTIVE/ABANDONED BEFORE REMOVAL FROM THE WORK AREA
5. THE CONTRACTOR SHALL COMPLY WITH COLORADO REVISED STATUTES (CRS) 2018, TITLE 9, ARTICLE 1.5–103 (10), "ALL NEW UNDERGROUND FACILITIES, INCLUDING LATERALS UP TO THE STRUCTURE OR BUILDING BEING SERVED, INSTALLED ON OR AFTER 8/8/2018, MUST BE ELECTRONICALLY LOCATABLE WHEN INSTALLED."

GENERAL PROPOSED UTILITY NOTES

THE CONTRACTOR SHALL ENSURE PIPES ARE FREE OF GRAVEL AND DEBRIS PRIOR TO BEING INSTALLED IN THE TRENCH. IF THE PIPE IS DIRTY, HAS GRAVEL OR DEBRIS INSIDE, OR HAS SAT UNUSED FOR A LONG PERIOD OF TIME, THE PIPE WILL REQUIRE CLEANING PRIOR TO INSTALLATION.

1. FOLLOW ALL COLORADO DEPARTMENT OF PUBLIC HEALTH & ENVIRONMENT (CDPHE) REGULATIONS FOR WATER AND SEWER LINE CROSSINGS.
2. REFER TO EACH SPECIFIC MUNICIPALITY'S, SPECIAL DISTRICT, OR RESPECTIVE UTILITY OWNER'S STANDARDS AND SPECIFICATIONS FOR APPROVED MATERIALS AND EQUIPMENT AS WELL AS OTHER REQUIREMENTS THAT MAY NOT BE INCLUDED IN THESE NOTES.
3. ALL WORK TO BE DONE IN STRICT COMPLIANCE WITH RESPECTIVE UTILITY COMPANY REQUIREMENTS. REFER TO THE UTILITY OWNER CONTACT TABLE FOR KNOWN UTILITY OWNERS WITHIN THE AREA.
4. PROVIDE CONDUIT SIZE AND TYPE PER RESPECTIVE UTILITY COMPANY REQUIREMENTS.
5. PROVIDE CONDUIT STUB A MINIMUM OF 6–INCHES ABOVE FINAL GRADE AT LOCATIONS DESIGNATED FOR PEDESTAL INSTALLATION AND CAP.
6. PROVIDE PULL STRING IN EACH DRY UTILITY CONDUIT.
7. TRANSITION CONDUIT FROM TYPICAL UTILITY TRENCH SPACING TO PROVIDE SEPARATION FROM VERTICAL APPURTENANCES OF DEEPER UTILITIES.
8. UNLESS OTHERWISE SPECIFIED, GAS UTILITY OWNER WILL INSTALL ALL NON–SERVICE LINE GAS PIPING.
9. GAS PIPING SHALL BE BEDDED AND BACK–FILLED THE SAME DAY AS INSTALLED.
10. COMMUNICATIONS COMPANY PROVIDER WILL PROVIDE ANY REQUIRED VAULTS AND PEDESTALS.
11. CONTRACTOR TO INSTALL CONDUIT WITH BEDDING PER UTILITY OWNER SPECIFICATIONS; IF UTILITY COMPANY FAILS TO PROVIDE REQUIREMENTS, BED CONDUIT WITH 3/4–INCH MINUS MATERIAL, 4–INCHES BELOW TO 4–INCHES ABOVE CONDUIT.
12. CONDUIT PULL BOXES WILL BE REQUIRED AS SHOWN ON THE PLANS. IF PULL BOXES ARE NOT SHOWN ON PLANS, PROVIDE THEM AT ALL MAJOR ALIGNMENT/DIRECTION CHANGES AND NO GREATER THAN 300–FEET BETWEEN EACH LOCATION.

SANITARY SEWER:

1. REFER TO THE STANDARDS AND SPECIFICATIONS FOR THE CITY OF RIFLE FOR THE FULL REQUIREMENTS FOR SANITARY MAINS.
2. SANITARY MAINS SHALL BE INSTALLED WITH A STRAIGHT ALIGNMENT FROM MANHOLE TO MANHOLE UNLESS SPECIFICALLY SHOWN OTHERWISE ON THE PLANS.
3. THE PLAN VIEW STATIONING IS FROM CENTER OF MANHOLE TO CENTER OF MANHOLE OR STRUCTURES. THE LABELED PROFILE DISTANCES AND SLOPE ARE 3D LENGTH AND 3D SLOPE. THE DISTANCE AND SLOPE ARE MEASURED FROM THE INSIDE WALL OF MANHOLE OR STRUCTURE TO THE OTHER INSIDE WALL OF MANHOLE OR STRUCTURE.
4. MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN WATER AND SANITARY SEWER MAINS AND SERVICES (MEASURED OUTSIDE OF PIPE TO OUTSIDE OF PIPE). MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN SANITARY SEWER AND WATER CROSSINGS (MEASURED OUTSIDE OF PIPE TO OUTSIDE OF PIPE).
5. SANITARY SEWER MAINS SHALL CONFORM TO ASTM D 3034, BE GASKETED SDR 35 PVC UNLESS OTHERWISE SPECIFIED ON THE PLANS.
6. MANHOLES SHALL BE SIZED AS SHOWN ON THE PLANS, AND NO SMALLER THAN 48" IN DIAMETER.
7. MANHOLE GRADE ADJUSTMENT RINGS SHALL BE USED TO BRING THE MANHOLE COVER TO THE CORRECT ELEVATION. RINGS SHALL BE FURNISHED IN HEIGHTS TO ALLOW FOR TWO–INCH ADJUSTMENTS. RINGS SHALL BE GROUTED IN PLACE.
8. IN PAVED AREAS: MANHOLE FRAMES AND LIDS SHALL BE INSTALLED TO MATCH THE SLOPE OF THE PAVED AREAS BY SHIMMING THE GRADE RINGS WITH MORTAR. A TWO–INCH ADJUSTING RING IS REQUIRED BETWEEN THE GRAME AND LID IN ALL PAVED AREAS. LID SHALL BE SET FROM 1/4 INCH TO 1/2 INCH BELOW THE PAVEMENT SURFACE.
9. IN GRAVEL AREAS: MANHOLE FRAMES AND LIDS SHALL BE INSTALLED PLUMB AND LEVEL, SET 2 TO 4 INCHES BELOW THE GRAVEL SURFACE.
10. SERVICE CONNECTIONS TO NEW MAINS SHALL BE MADE WITH FULL–BODIED WYES THAT MEET THE SAME SPECIFICATIONS AS THE SANITARY SEWER MAIN.
11. THE MINIMUM SLOPE FOR A NEW SANITARY SERVICE LINE SHALL BE 2%.
12. SEWER CLEANOUT STRUCTURES SHALL BE INSTALLED AT LOCATIONS SHOWN ON THE DRAWINGS. IF NOT SHOWN ON DRAWINGS, CLEANOUTS SHALL BE INSTALLED IN INTERVALS NOT TO EXCEED 100 FT IN STRAIGHT RUNS AND AT EACH CHANGE IN DIRECTION OF 45 DEGREES OR GREATER.

STORM SEWER SEWER:

1. REFER TO THE STANDARDS AND SPECIFICATIONS FOR THE CITY OF RIFLE FOR THE FULL REQUIREMENTS FOR STORM SEWER MAINS.
2. ALL PIPING SHALL BE ADS N–12 HDPE PIPE, UNLESS OTHERWISE SPECIFIED.
3. ALL MANHOLES SHALL BE 4' DIAMETER PRECAST CONCRETE. HAVE AN ECCENTRIC CONE UNLESS OTHERWISE SPECIFIED.
4. THE PLAN VIEW STATIONING IS FROM CENTER OF MANHOLE TO CENTER OF MANHOLE OR STRUCTURES. THE LABELED PROFILE DISTANCES AND SLOPE ARE 3D LENGTH AND 3D SLOPE. THE DISTANCE AND SLOPE ARE MEASURED FROM THE INSIDE WALL OF MANHOLE OR STRUCTURE TO THE OTHER INSIDE WALL OF MANHOLE OR STRUCTURE.

WATER DISTRIBUTION

1. THIS PROJECT IS WITHIN CITY OF RIFLE AND ALL WATER COMPONENTS SHALL CONFORM TO THE LATEST CITY OF RIFLE STANDARDS AND SPECIFICATIONS. ANY CONFLICTS BETWEEN THE REQUIREMENTS OF THESE PLANS AND THE LATEST CITY OF RIFLE UTILITY DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION AND RESOLUTION.
2. ALL WETTED COMPONENTS OR THOSE POTENTIALLY TO BE IN CONTACT WITH POTABLE WATER UNDER TYPICAL OPERATING CONDITIONS RELATED TO THE WATERLINE INSTALLATION (PIPE, FITTINGS, VALVES, COATINGS, AND OTHER APPURTENANCES) SHALL BE NSF 61 CERTIFIED.
3. WATER MAINS SHALL BE CL–52 DIP OR C–900 PVC PIPE AND FITTINGS SHALL BE MECHANICAL JOINT TYPE WITH EBAA IRON MEGALUG–TYPE JOINT RESTRAINTS UNLESS OTHERWISE NOTED ON PLANS.
4. PVC PIPE MANUFACTURER REFERENCE USED FOR DESIGN ALLOWS FOR JOINT DEFLECTION OF THE PIPE FOR WATER MAIN UTILIZING A MINIMUM RADIUS OF 1146–FEET BY UTILIZING PIPE DEFLECTION OF 1–DEGREE AT EACH JOINT. CONTRACTOR TO PROVIDE SUBMITTAL FOR PIPE THAT ALLOWS THIS AMOUNT OF DEFLECTION AT THE PIPE JOINTS. BENDING OF PIPE BARREL IS NOT ALLOWED.
5. ALL FITTINGS (BENDS, CROSSES, PLUGS, VALVES AND TEES) SHALL HAVE BOTH CONCRETE THRUST BLOCK (AKA CONCRETE REACTION BLOCK) AND EBAA IRON MEGALUGS INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS SHOWN ON THE DETAIL SHEETS.
6. ALL FITTINGS (BENDS, CROSSES, PLUGS, VALVES AND TEES) SHALL BE WRAPPED WITH POLYETHYLENE, SEE RELEVANT DETAIL.
7. PLEASE NOTE THAT VERTICAL BENDS OR FITTINGS HAVE DIFFERENT RESTRAINT REQUIREMENTS THAN HORIZONTAL BENDS AND FITTINGS, SEE VERTICAL RESTRAINT DETAIL. NO NEW OR ADDITIONAL VERTICAL BENDS OR FITTINGS SHALL BE ADDED WITHOUT THE APPROVAL OF THE ENGINEER.
8. WHEN REQUIRED TO ABANDON WATER VALVE REMOVE TOP SECTION OF VALVE BOX, BACKFILL ENTIRE CAVITY AND COMPACT TO 95% AND PATCH SURFACE ACCORDING TO JURISDICTION'S REQUIREMENTS.
9. ALL ABANDONED PORTIONS OF THE SYSTEM MAINLINES SHALL BE PHYSICALLY CUT AND CAPPED WITH 2–LINEAR–FEET OF NON–SHRINK GROUT AT THE NEAREST CONVENIENT LOCATION TO THE NEW SYSTEM OR AS CITY OF RIFLE PERSONNEL DIRECT. EXISTING FIRE HYDRANTS SHALL BE ABANDONED AND REMOVED FROM THE SITE AFTER NEW HYDRANTS ARE PUT INTO SERVICE. LATERAL HYDRANT PIPE TO BE CUT, CAPPED, AND GROUTED. CUTTING AND GROUTING OF ABANDONED WATERLINES WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN WORK.
10. IT IS THE INTENT OF THESE PLANS TO MINIMIZE OR ELIMINATE SERVICE DISRUPTION AS MUCH AS POSSIBLE. CONTRACTOR SHALL MAINTAIN WATER SERVICE THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE SERVICE INTERRUPTIONS WITH THE CITY OF RIFLE AND UNLESS DOCUMENTED RESPONSIBILITY IS TRANSFERRED TO THE CITY OF RIFLE, THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING AFFECTED RESIDENCES 48 HOURS PRIOR TO DISRUPTION.
11. INSTALLED SYSTEM COMPONENTS SHALL NOT BE CONSIDERED COMPLETED UNTIL NEW MAINS ARE TESTED AND ACCEPTED BY THE CITY OF RIFLE.
12. TRACER WIRE IS REQUIRED ON ALL WATER MAINS AND SERVICE LINES. PER STATE LAW, ON ALL NEW UNDERGROUND INSTALLATIONS, TRACER WIRE SHALL BE INSTALLED UP TO THE BUILDING BEING SERVED, OR THE END/TIE–IN OF THE NEW LINE TO EXISTING.
13. TRACER WIRE TEST STATIONS (MODEL GLENN 4) SHALL BE REQUIRED AT ALL FIRE HYDRANTS, AND AS OTHERWISE SPECIFIED ON THE PLANS. CONNECTION POINTS AT VALVES SHALL BE INSTALLED VIA A SMALL HOLE DRILLED IN THE TOP OF THE VALVE BOX.
14. WARNING TAPE: ABOVE ALL WATER MAINS INSTALL A 6–INCH WIDE DETECTABLE ALUMINUM FOIL PLASTIC BACKED TAPE INDICATING A BURIED WATER LINE AND PLACE 18–INCHES BELOW THE SURFACE. THE TAPE MUST BE BLUE IN COLOR AND BE MADE BY THORTEC OR APPROVED EQUAL WARNING TAPE SHALL BE INSTALLED ABOVE ALL NEW SERVICES AS WELL.
15. ALL WATER MAINS SHALL BE INSTALLED WITH A 4'–6" MINIMUM DEPTH OF COVER AND A 7' MAXIMUM DEPTH OF COVER PER CITY OF RIFLE. IF GRADE CONFLICTS OCCUR WITH EXISTING UTILITIES OR OTHER OBSTRUCTIONS, THE PROPOSED WATER MAIN GRADE CAN BE VARIED PROVIDED THE MINIMUM AND MAXIMUM DEPTHS OF COVER IS MAINTAINED. CONTACT ENGINEER FOR ANY GRADE CHANGES DEVIATING FROM THE PLAN MORE THAN 12–INCHES OR IF THE MINIMUM OR MAXIMUM COVER DEPTHS CAN NOT BE ACHIEVED.
16. ALL CONFLICTS WITH UTILITIES HAVE BEEN SHOWN TO THE BEST AVAILABLE INFORMATION ON THE PLANS. ON CONFLICTS WITH SEWER, 1.5–FOOT MINIMUM SEPARATION SHOULD BE MAINTAINED. AT ALL CROSSINGS
17. A FULL STICK OF WATER MAIN PIPE SHALL BE CENTERED AT THE CROSSING. IT IS PREFERRED FOR THE WATER TO GO ABOVE THE SEWER. INSTANCES WHERE THE DESIGN CAN NOT ACHIEVE 1.5–FEET OF SEPARATION, THE NEAREST JOINTS OF THE WATERLINE SHALL BE ENCASED IN CONCRETE. SEE DETAILS.

WATER VALVES AND APPURTENANCES

1. GATE VALVES SHALL BE USED FOR VALVES 3–INCH THROUGH 12–INCH IN SIZE. THEY SHALL BE RATED FOR 250–PSI WORKING PRESSURE, 2–INCH NUT, RESILIENT SEAT, EPOXY COATED, MECHANICAL JOINT OR FLANGED, AS REQUIRED, NON–RISING VALVE STEM, OPEN LEFT, COUNTER–CLOCKWISE AND SHALL CONFORM TO AWWA C–509.
2. COMBINATION AIR VALVE: ALL COMBINATION AIR AND VACUUM RELEASE VALVES SHALL BE IN ACCORDANCE WITH AWWA C512 AND SHOP ASSEMBLED AND SHIPPED AS A COMPLETE UNIT READY FOR FIELD INSTALLATION.
3. VALVE BOXES AND EXTENSIONS: VALVE BOXES AND ALL VALVE BOX COMPONENTS INCLUDING LIDS AND RISERS SHALL BE TYLER PIPE OR EAST JORDAN IRON WORKS (EJIW). FOR VALVES LESS THAN 14–INCH THE BOXES SHALL BE SCREW TYPE 668S FOR SERIES 8550 AND FOR VALVES 14–INCH OR LARGER THE BOXES SHALL BE SCREW TYPE 668S FOR SERIES 8560. DUE TO CASTING DIFFERENCES, ALL PARTS MAY NOT BE INTERCHANGEABLE BETWEEN TYLER AND EJIW. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASSURING COMPLIANCE BETWEEN ALL PARTS.

HYDRANTS AND APPURTENANCES

1. HYDRANTS: PER AWWA C 502; WITH 6–INCH MECHANICAL JOINT PIPE CONNECTION AUTOMATIC DRAIN FEATURE (DRIP VALVE), OPEN LEFT, 1–1/2 INCH PENTAGONAL OPERATING NUT, TWO 2–1/2 INCH NATIONAL STANDARD (NST) THREAD HOSE NOZZLES, AND A 4–1/2 INCH NST THREAD STEAMER NOZZLE, RED IN COLOR, WITH BURY DEPTH MATCHING MINIMUM COVER FOR MAIN LINE OR OTHER LENGTH IF PIPE IS NOT TYPICAL MINIMUM BURY. ACCEPTABLE HYDRANTS FOR USE ARE "KENNEDY K81D GUARDIAN" OR "MUELLER SUPER CENTURION 250".

WATER SERVICES (2–INCH AND LESS)

1. SERVICE LINES GREATER THAN 2–INCH SHALL BE CONSIDERED MAIN LINES FOR PURPOSES OF REQUIREMENTS AND SPECIFICATIONS.
2. ALL WATER SERVICES SHALL BE TYPE K COPPER AND NO SMALLER THAN 3/4–INCH.
3. TAPPING SADDLES SHALL BE DOUBLE STRAP AND COMPATIBLE WITH THE PIPE MATERIAL OF THE MAIN LINE.
4. WATER SERVICE LINES SHALL BE INSTALLED WITH THE SAME MINIMUM COVER REQUIREMENT AS WATER MAINS.
5. ALL NEW WATER SERVICE LINES SHALL HAVE TRACER WIRE INSTALLED UP TO THE EDGE OF THE BUILDING BEING SERVED OR UNTIL THE END OF THE NEW LINE'S INSTALLATION. TRACER WIRE SHALL BE TERMINATED WITH AN APPROVED ACCESS POINT.
6. ALL NEW WATER SERVICES SHALL HAVE CORP STOPS INSTALLED WITH THE TAPPING SADDLE.
7. CURB STOPS SHALL BE INSTALLED APPROXIMATELY 12 INCHES FROM THE PROPERTY LINE WITHIN THE RIGHT–OF–WAY AND OUTSIDE OF HARDSCAPED AREAS WHERE POSSIBLE.
8. ALL KNOWN SERVICES WHICH TIE INTO THE EXISTING MAIN ARE SHOWN. ANY SERVICE WHICH IS NOT SHOWN BUT TIES INTO MAIN SHALL BE REPLACED AND TIED INTO NEW MAIN.

MINIMUM SEPARATION FROM POLLUTION SOURCES

1. PER CDPHE DESIGN CRITERIA, WATER MAINS SHALL BE SEPARATED FROM POLLUTION SOURCES IN PARALLEL. INSTALLATION OF SEWER MAINS WITH POTABLE, RECLAIM, AND IRRIGATION WATER SHALL BE ACCOMPLISHED IN A FASHION TO PRECLUDE CONTAMINATION OF THE WATER FACILITIES.
2. WATER MAINS SHALL BE LOCATED NO LESS THAN 10 FEET HORIZONTALLY AND 1.5 FEET VERTICALLY (ABOVE) FROM SEWER LINES.
3. SEWER MAINS SHALL BE LOCATED NO LESS THAN 4 FEET HORIZONTALLY FROM AND 1.5 FEET VERTICALLY (BELOW) RECLAIM/IRRIGATION WATER LINES.
4. IF THE SEWER MAIN CROSSES UNDER THE WATER MAIN BUT LESS THAN 1.5–FEET OF CLEAR SPACE WILL EXIST, THE SEWER MAIN SHALL BE INSTALLED IN A CASING PIPE EXTENDING NO LESS THAN 9 FEET ON EACH SIDE OF THE WATER MAIN CENTERLINE. THE CASING PIPE SHALL BE OF WATERTIGHT MATERIAL WITH NO JOINTS. THE CASING PIPE MATERIAL MAY BE STEEL, DUCTILE IRON, OR PVC WITH SUITABLE CARRIER PIPE SUPPORTS AND CASING PIPE END SEALS.
5. ALL CROSSINGS SHALL HAVE A FULL–LENGTH STICK (20 FEET) OF THE NEW PIPE CENTERED AT THE CROSSING.
6. ANY DEVIATIONS FROM THE ABOVE REQUIREMENTS MUST BE PROVIDED IN WRITING FROM THE CITY OF RIFLE STAFF.

DISINFECTING, FLUSHING AND TESTING

1. PERMANENT CONNECTIONS TO THE EXISTING SYSTEM SHALL NOT BE MADE UNTIL AUTHORIZED BY THE CITY OF RIFLE UTILITY DEPARTMENT. LOOPED PIPELINES SHALL BE CONNECTED ONLY AT ONE END PRIOR TO COMPLETION AND APPROVAL OF THE DISINFECTION TESTS. PERMANENT CONNECTIONS MUST BE CLEANED AND DISINFECTED PER THE CURRENT REVISION OF AWWA C651.
2. THE ENGINEER MUST BE ON SITE TO OBSERVE THE INSTALLATION OF ALL PERMANENT CONNECTIONS.
3. CONTRACTOR TO INSTALL SAMPLING POINTS, AIR–BLEEDING POINTS, AND TEMPORARY THRUST SUPPORT AS NEEDED TO TEST AND DISINFECT SYSTEM. THIS WORK WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE COST OF THE WATERLINE ITEM.
4. DISINFECT THE WORK IN ACCORDANCE WITH THE PROCEDURES AND REQUIREMENTS OF THE CURRENT REVISION OF AWWA C651. IF CALCIUM HYPOCHLORITE TABLETS ARE USED THEY MUST BE ATTACHED TO THE TOP OF THE INSIDE OF THE PIPE WITH AN NSF 61 APPROVED ADHESIVE. DO NOT USE EXCESSIVE CHLORINE. CHLORINE IN EXCESS OF 50 MG/L AFTER 24 HOURS MAY BE GROUNDS FOR REJECTION OF THE WATER SYSTEM. FILLING OF THE WATER MAIN SHALL BE ACCOMPLISHED AT A WATER VELOCITY LESS THAN ONE FOOT/SECOND. AFTER 24 HOURS, THE ENGINEER SHALL TEST THE CHLORINE RESIDUAL. IF A MINIMUM RESIDUAL OF 10 MG/L IS NOT MET, THE DISINFECTING PROCEDURE SHALL BE REPEATED.
5. PRESSURE TESTING: AFTER CONCRETE THRUST BLOCKS HAVE CURED FOR A MINIMUM OF 48 HOURS, ALL NEWLY LAID PIPE OR ANY VALVED SECTION THEREOF SHALL BE SUBJECTED TO A HYDROSTATIC PRESSURE OF 200 PSI FOR MAINS 12 INCH DIAMETER OR LESS AND 150 PSI FOR MAINS GREATER THAN 12–INCH DIAMETER.

TRENCHING AND BACKFILL

1. THE MAXIMUM AMOUNT OF TRENCH OPEN AT ONE TIME SHALL BE LIMITED TO 100–FEET OR SUCH LENGTH AS THE ENGINEER CONSIDERS REASONABLE AND NECESSARY. NO TRENCH SHALL BE LEFT OPEN OVERNIGHT UNLESS SPECIFIED OTHERWISE IN THE SPECIAL PROVISIONS
2. ALL EXISTING UTILITY LINES AND WATERCOURSES ENCOUNTERED SHALL BE MAINTAINED AND PROVIDED FOR BY THE CONTRACTOR WITHOUT DAMAGE OR NUISANCE TO OTHER PARTIES. SHORING, BRACING, SHEETING, OTHER TRENCH SUPPORT METHODS, AND TRENCH BOXES SHALL BE USED WHEN NECESSARY TO PROTECT THE WORK, PROPERTY AND PERSONS. THE PROVISION, APPROPRIATENESS AND ADEQUACY OF ALL SUCH DEVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. USE OF NATIVE MATERIAL FOR BEDDING AND SHADING IS NOT ALLOWED. BEDDING MATERIAL SHALL BE IMPORTED 3/4–INCH MINUS, CLASS 6 A.B.C. OR OTHER MATERIAL AS APPROVED BY JURISDICTION NAME AND ENGINEER.
4. BACKFILL MAY BE NATIVE MATERIAL IF THE MATERIAL MEETS THE COMPACTION AND DENSITY REQUIREMENTS.
5. COMPACTION AND DENSITY REQUIREMENTS FOR NATIVE BACKFILL:

   5A. UNPAVED AREAS: BACKFILL MATERIALS SHALL BE PLACED IN LIFTS AND COMPACTED TO AT LEAST 95 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698 (STANDARD PROCTOR TEST), OR 92% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 (MODIFIED PROCTOR TEST).

   5B. PAVED AREAS: PAVED AREAS (INCLUDING PAVED AND GRAVELED ROADWAYS, PAVED AND GRAVELED PARKING LOTS, SIDEWALKS, PAVED AND GRAVELED TRAILS, CURB AND GUTTERS, AND ALL AREAS UNDER PAVED STRUCTURES OF ANY KIND): BACKFILL MATERIALS SHALL BE PLACED IN 6–12" LIFTS AND COMPACTED TO AT LEAST 95 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698 OR 92 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 (MODIFIED PROCTOR TEST). IN INSTANCES WHERE A TRENCH CROSSES A PAVED PUBLIC STREET, THE UPPER 12–INCHES THAT LIE BELOW THE PAVEMENT SHALL BE BACKFILLED WITH FLOW FILL. IN ALL OTHER INSTANCES WHERE A TRENCH IS LOCATED UNDER A PAVED AREA, THE UPPER 12–INCHES OF THE BACKFILL ZONE THAT LIES BELOW ROAD BASE OR SUBBASE MATERIAL SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557, OR–98 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698. BASE COURSE MATERIALS SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557. TRENCHES UNDER PAVED AREAS SHALL, IN GENERAL, BE BACKFILLED WITH IMPORTED MATERIAL. NATIVE BACKFILL MAY BE USED IN THESE AREAS ONLY WITH PRIOR, WRITTEN AUTHORIZATION FROM THE UTILITY DEPARTMENT. UTILITY DEPARTMENT AUTHORIZATION REQUIRES A SUBMITTAL FROM THE GEOTECHNICAL ENGINEER THAT DESCRIBES AND CLASSIFIES THE NATIVE MATERIAL AND A STATEMENT THAT THE MATERIAL IS SATISFACTORY FOR BACKFILLING UNDER PAVED AREAS.
6. DEWATERING: THE CONTRACTOR SHALL PROVIDE ALL NECESSARY DEWATERING EQUIPMENT AND PROCEDURES NECESSARY FOR EXCLUDING AND REMOVING WATER FROM TRENCHES AND OTHER PARTS OF THE WORK. THE TRENCH SHALL BE MAINTAINED DRY SO THAT THE WORK MAY BE COMPLETED EFFICIENTLY, AND PIPES CAN BE LAID, JOINED, BEDDED, INSPECTED AND BACKFILLED IN DEWATERED CONDITIONS. THE PIPE BEING INSTALLED SHALL NOT BE USED TO DEWATER THE TRENCH. NO WATER SHALL BE ALLOWED TO FLOW OVER OR RISE UPON FRESH CONCRETE OR MORTAR, AND NO WATER SHALL BE ALLOWED TO ENTER THE INSTALLED PIPE.

SGM
118 West Sixth Street, Suite 200
Glenwood Springs, CO 81601
970.945.1004
www.sgm-inc.com

COLORADO LICENSED 28152 12/10/25 PROFESSIONAL ENGINEER

Right Move Storage
Rifle, Colorado

#	Revision	Date	By
1			
2			
3			

Project Milestone: PRELIMINARY NOT FOR CONSTRUCTION

Job No.	2025-401.001
Drawn by:	AY
Print Date:	12.10.2025
QC: XX	PE: JSS
File:	Right Move- Cover

Title:

Utility General Notes

Dwg No.
3
Of: 12

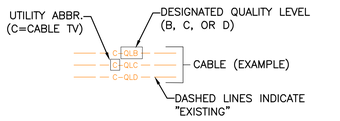
i:\2025\2025-401-modstorage\001-civil\H-Dwgs\Civil\ps-sheetset\Right Move- Cover.dwg Plotted: 12/10/2025 9:45 AM By: Andrew Young

LEGEND

LINETYPES

EXISTING	PROPOSED	DESCRIPTION
T — — OH — —	T — OH —	OVERHEAD TELEPHONE LINE
T — — T	T	UNDERGROUND TELEPHONE LINE
G — — G	G	LOW PRESSURE GAS LINE
HPG	G — HP	HIGH PRESSURE GAS LINE
C — — C	C	UNDERGROUND CABLE TELEVISION LINE
C — — OH — —	C — OH —	OVERHEAD CABLE TELEVISION LINE
E — — E	E	UNDERGROUND ELECTRICAL LINE
E — — OH — —	E — OH —	OVERHEAD ELECTRICAL LINE
		STORM DRAIN LINE
W — — W	W	WATER LINE
WS — — WS	WS — WS	WATER SERVICE LINE
S — — S	S	SANITARY SEWER LINE
SS — — SS	SS — SS	SANITARY SEWER SERVICE LINE
FO — — FO	FO	FIBER OPTIC LINE
IRR — — IRR	IRR	IRRIGATION LINE
		DRAINAGE SWALE FLOWLINE
		BARBED–WIRE FENCE LINE
		CHAIN LINK FENCE
	SF — SF — SF	SILT FENCE
		CULVERT & FES
		EDGE OF ASPHALT
		EDGE OF CONCRETE
		EDGE OF WATER
		CENTERLINE
		ROCK WALL
		CONTOURS
		RIGHT–OF–WAY
		VEGETATION
	LDA — LDA	LIMITS OF DISTURBED AREA
		RAILROAD TRACKS
		TOP OF CUT
		TOP OF FILL
		EASEMENT
	AE	ACTIVITY ENVELOPE

SUE UTILITY LINE TYPES WITH "QUALITY LEVELS"



C–QLB	CABLE COMMUNICATION
T–QLB	TELEPHONE
F–QLB	FIBER OPTIC
TR–QLB	TRAFFIC COMMUNCATION
E–QLB	ELECTRIC
ET–QLB	ELECTRIC TRANSMISSION
G–QLB	GAS
HPG–QLB	HIGH PRESSURE GAS
CA–QLB	COMPRESSED AIR
S–QLB	SANITARY SEWER
DR–QLB	DRAIN LINE (STORM SEWER)
W–QLB	WATER
IRR–QLB	IRRIGATION
NP–QLB	NON–POTABLE WATER
UNK	UNKNOWN UTILITY

SYMBOLS

EXISTING	PROPOSED	DESCRIPTION
		DECIDUOUS TREE
		CONIFEROUS TREE
		MONUMENT MARKER
		CONTROL POINT
C E FO G S T U W		MARKERS (CATV, ELEC, FIBER) (TELE, TRAFFIC, UNKNOWN)
C E FO T TR U	C E FO T TR U	PEDESTALS (CATV, ELEC, FIBER) (TELE, TRAFFIC, UNKNOWN)
D E FO IR S T U W		MANHOLES (DRAINAGE, ELEC, FIBER, IRRIGATION, SANITARY, TELEPHONE, UNKNOWN, WATER)
C E FO T TR U	C E FO T TR U	VAULTS/HANDHOLES (CATV, ELEC, FIBER, TELE, TRAFFIC, UNKNOWN)
ET	ET	ELECTRIC TRANSFORMER
GV	GV	GAS VALVE
SV	SV	SANITARY VALVE
ICV	ICV	IRRIGATION CONTROL VALVE
		WATER VALVE
WSO	WSO	WATER SHUTOFF VALVE
		FIRE HYDRANT
		VENTS(GAS,WATER,SEWER,MISC.)
GM EM WM	GM EM WM	METERS (GAS, ELECTRIC, WATER)
G	G	GAS WELL
M	M	MONITORING WELL
W	W	WATER WELL
CO	CO	CLEAN–OUT
P	P	PROPANE TANK (ABOVE GROUND)
P	P	PROPANE TANK (UNDERGROUND)
HV AC	HV AC	HEATING/AIR CONDITIONING UNIT
		WATER SPIGOT
ICB	ICB	IRRIGATION CONTROL BOX
		IRRIGATION HEADGATE
SPR	SPR	IRRIGATION SPRINKLER HEAD
		PVC PIPE
		FLAG POLE
		UTILITY POLE
		GUY WIRE
		STREET LIGHT POLE
		TRAFFIC LIGHT POLE
		FLOOD LIGHT
		SIGN
MB	MB	MAILBOX
		BOLLARD
SB		SOIL BORING LOCATION
TP		TEST PIT LOCATION
		LARGE ROCK/BOULDER
		"T" POST
		SATELLITE DISH
	T	TRANSITION FROM SPILL TO CATCH GUTTER
		MINIMUM 4" TOP SOIL OR SPECIFIED ALTERNATIVE
		CHANGE IN SUE LEVEL
		UTILITY POTHOLE LOCATION

ABBREVIATIONS

@	AT
°	DEGREE
ø	DIAMETER
#	NUMBER
AAC	ALUMINUM ARCH CULVERT
AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS
ABC	AGGREGATE BASE COURSE
ABUT	ABUTMENT
ACM	ASBESTOS CONTAINING MATERIAL
ACP	ASBESTOS CEMENT PIPE
ADA	AMERICANS W/ DISABILITIES ACT
ADT	AVERAGE DAILY TRIPS
ALT	ALTERNATE
AP	ANGLE POINT
APWA	AMERICAN PUBLIC WORKS ASSOCIATION
AS	ASPHALT
ASD	ALLOWABLE STRESS DESIGN
ASPH	ASPHALT
ATB	ASPHALT TREATED BASE
BBL	BARRELS
BCKF	BACK FACING
BLKF	BLOCK FACING
BLM	BUREAU OF LAND MANAGEMENT
BM	BENCHMARK
BMP	BEST MANAGEMENT PRACTICES
BOW	BACK OF SIDEWALK
BP	BEGIN PROJECT, BEGINNING POINT
BT	BEGIN TRANSITION
BVCE	BEGINNING VERTICAL CURVE ELEVATION
BVCS	BEGINNING VERTICAL CURVE STATION
BW	BOTTOM OF WALL
C	CURB
CBC	CONCRETE BOX CULVERT
CC	CURB CUT
CDOT	COLORADO DEPARTMENT OF TRANSPORTATION
CDPHE	COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
CF	CUBIC FEET
CFS	CUBIC FEET PER SECOND
CG	CURB AND GUTTER
CIP	CAST IN PLACE
CL	CENTERLINE
CLOMR	CONDITIONAL LETTER OF MAP REVISION
CMP	CORRUGATED METAL PIPE
CMU	CONCRETE MASONRY UNIT
CO	CONCRETE
COM	COMMUNICATIONS
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
COR	CORNER
CPE	CORRUGATED POLYETHYLENE PIPE
CSP	CORRUGATED STEEL PIPE
CTB	CEMENT TREATED BASE
CU	CUBIC
CY	CUBIC YARD
D	DEEP
DB	DECIBELS
DEG	DEGREES
DHV	DESIGN HOUR VOLUME
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DOW	DIVISION OF WILDLIFE
DR	DRAIN
DTM	DIGITAL TERRAIN MODEL
DW	DRIVEWAY
DWG	DRAWING
E	EASTING
EA	EACH
EB	EAST BOUND
EG	EXISTING GRADE
EL	ELEVATION
ELEV	ELEVATION
EOA	EDGE OF ASPHALT
EOD	EDGE OF DRIVEWAY
EOC	EDGE OF CONCRETE
EOG	EDGE OF GRAVEL
EOM	EDGE OF MILLINGS
EOP	EDGE OF PAVEMENT
EP	END PROJECT, END POINT
EPA	ENVIRONMENTAL PROTECTION AGENCY
ES	ELECTRIC SERVICE
ESMT	EASEMENT
EST	ESTIMATE
EVCE	END VERTICAL CURVE ELEVATION
EVCS	END VERTICAL CURVE STATION
EX	EXISTING
EXIST	EXISTING
EXT	EXTERIOR
FAA	FEDERAL AVIATION ADMINISTRATION
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY
FES	FLARED END SECTION
FF	FINISHED FLOOR
FG	FINISHED GRADE
FH	FIRE HYDRANT
FHWA	FEDERAL HIGHWAY ADMINISTRATION
FL	FLOWLINE
FOW	FACE OF WALL
FPS	FEET PER SECOND
FRTF	FRONT FACE
FT	FEET
G	GAS
GAL	GALLONS
GALV	GALVANIZED
GB	GRADE BREAK
GIS	GEOGRAPHICAL INFORMATION SYSTEM
GPM	GALLONS PER MINUTE
GPS	GLOBAL POSITIONING SYSTEM
GR	GRAVEL
GRAV	GRAVEL
GS	GAS SERVICE
GSP	GALVANIZED STEEL PIPE
GV	GATE VALVE
HAZMAT	HAZARDOUS MATERIALS
HC	HANDICAP RAMP
HCL	HORIZONTAL CONTROL LINE
HDPE	HIGH DENSITY POLYETHYLENE
HMA	HOT MIXED ASPHALT
HORIZ	HORIZONTAL
HOV	HIGH OCCUPANCY VEHICLE
HP	HIGH POINT
HPG	HIGH PRESSURE GAS
HWY	HIGHWAY
HYD	HYDRANT
ID	INSIDE DIAMETER
INT	INTERSECTION
INV	INVERT
IP	INLET PROTECTION
JB	JUNCTION BOX
KIP	THOUSAND POUNDS
KW	KILOWATT
L	LEFT
LGTH	LENGTH
LB	POUNDS
LB/FT	POUNDS PER FOOT
LEED	LEADERSHIP IN ENERGY AND ENVIRONMENTAL DESIGN
LF	LINEAR FOOT
LOMR	LETTER OF MAP REVISION
LPFM	LOW PRESSURE FORCE MAIN
LP	LOW POINT
LS	LUMP SUM
LSA	LANDSCAPED AREA
LT	LIGHT POLE
LTB	LIME TREATED BASE
LUM	LUMINARY
M	METERS
MAT'L	MATERIAL
MAX	MAXIMUM
MH	MANHOLE
MHT	METHOD OF HANDLING TRAFFIC
MIN	MINIMUM
MISC	MISCELLANEOUS
ML	MEGALUG
MLW	MASONRY LANDSCAPE WALL
MP	MILE POST
MPH	MILES PER HOUR
MSE	MECHANICALLY STABILIZE EARTH
MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
MW	MONITORING WELL
N	NORTHING
N/A	NOT APPLICABLE
NAT	NATIVE GRASS AREA
NAVD	NORTH AMERICAN VERTICAL DATUM
NB	NORTH BOUND
NE	NORTHEAST
NEPA	NATIONAL ENVIRONMENTAL POLICY ACT
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
NGVD	NATIONAL GEODETIC VERTICAL DATUM 1929
NHS	NATIONAL HIGHWAY SYSTEM
NIP	NAIL IN PLACE
NO	NUMBER
NPDES	NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM
NTP	NOTICE TO PROCEED
NTS	NOT TO SCALE
NW	NORTHWEST
O/S	OFFSET
OC	ON CENTER
OD	OUTSIDE DIAMETER
OH	OVERHEAD
OP	OUTLET PROTECTION
OT	OVERHEAD TELEPHONE
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PED	PEDESTRIAN
PERM	PERMANENT
PG	PAGE
PGL	PROFILE GRADE LINE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PM	PROJECT MANAGER
PNT	POINT
POC	POINT ON CURVE
POT	POINT ON TANGENT
PRC	POINT OF REVERSE CURVE
PROP	PROPOSED
PRV	PRESSURE REDUCING VALVE
PSF	POUNDS PER SQUARE FEET
PSI	POUNDS PER SQUARE INCH
PT	POINT OF TANGENCY
PUD	PLANNED UNIT DEVELOPMENT
PVC	POLYVINYL CHLORIDE
PVI	POINT OF VERTICAL INTERSECTION
PVMT	PAVEMENT
PVT	POINT OF VERTICAL TANGENCY
Q	PEAK DISCHARGE
QA/QC	QUALITY ASSURANCE/QUALITY CONTROL
QTY	QUANTITY
R	RIGHT
R–R	REMOVE AND REPLACE
RAD	RADIUS
RCP	REINFORCED CONCRETE PIPE
REF	REFERENCE
REQ	REQUIRED
REVEG	REVEGETATE
RFTA	ROARING FORK TRANSIT AUTHORITY
ROW	RIGHT OF WAY
RP	RADIUS POINT
RSS	REINFORCED SOIL SLOPE
RW	RETAINING WALL
SAC	STEEL ARCH CULVERT
SAN	SANITARY
SB	SOUTH BOUND
SCF	SEDIMENT CONTROL FENCE
SD	STORM DRAIN
SDR	STANDARD DIMENSION RATIO
SE	SOUTHEAST
SECT	SECTION
SF	SQUARE FEET
SHLDR	SHOULDER
SL	SANITARY SEWER LINE
SMH	SANITARY SEWER MANHOLE
SOD	GRASS AREA
SS	SANITARY SEWER SERVICE
SSD	STOPPING SIGHT DISTANCE
STA	STATION
STBK	SETBACK
SW	SIDEWALK
SY	SQUARE YARDS
SYM	SYMMETRICAL
T	TREAD STAIRS
TAN	TANGENT
TBC	TOP BACK OF CURB
TBLK	THRUST BLOCK
TC	TOP OF CURB
TCE	TEMPORARY CONSTRUCTION EASEMENT
TCP	TRAFFIC CONTROL PLAN
TELE	TELEPHONE
TEMP	TEMPORARY
TP	TOP OF PIPE
TRANS	TRANSITION
TRFLG	TRAFFIC FLANGE OF FIRE HYDRANT
TW	TOP OF WALL
TYP	TYPICAL
UCTV	UNDERGROUND CABLE TELEVISION LINE
UE	UNDERGROUND ELECTRIC LINE
UG	UNDERGROUND GAS LINE
USACE	US ARMY CORPS OF ENGINEERS
USGS	US GEOLOGICAL SURVEY
UT	UNDERGROUND TELEPHONE LINE
VC	VERTICAL CURVE
VCP	VITRIFIED CLAY PIPE
VP	VALLEY PAN
VTC	VEHICLE TRACKING CONTROL
W	WIDE
W/	WITH
WB	WEST BOUND
WL	WATER LINE
WS	WATER SERVICE
WQCD	WATER QUALITY CONTROL DIVISION
WS	WATER SERVICE
WWM	WELDED WIRE MESH
X–S	CROSS SLOPE
YD	YARD

HATCHING

EXISTING	PROPOSED	DESCRIPTION
		ASPHALT MILLING
		ASPHALT
		CONCRETE SURFACING (PLAN VIEW)
		GRAVEL SURFACING
		RIPRAP/RIVER ROCK
		RE–ESTABLISH NATIVE VEGETATION
		WOOD DECK
		FLAGSTONE
		UNDISTURBED SOIL
		RECOMPACTED SOIL

SGM
118 West Sixth Street, Suite 200
Glenwood Springs, CO 81601
970.945.1004
www.sgm-inc.com

COLORADO LICENSED PROFESSIONAL ENGINEER 28152 12/10/25 CIVIL ENGINEER

Right Move Storage

Rifle, Colorado

#	Revision	Date	By:
1			
2			
3			

Project Milestone: PRELIMINARY NOT FOR CONSTRUCTION

Job No.	2025-401.001
Drawn by:	AY
Print Date:	12.10.2025
QC: XX	PE: JSS
File:	Right Move- Cover

Title:

Legend & Abbreviations

Dwg No.

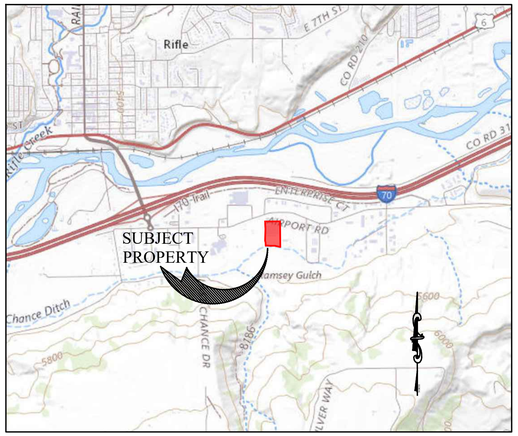
4

Of: 12

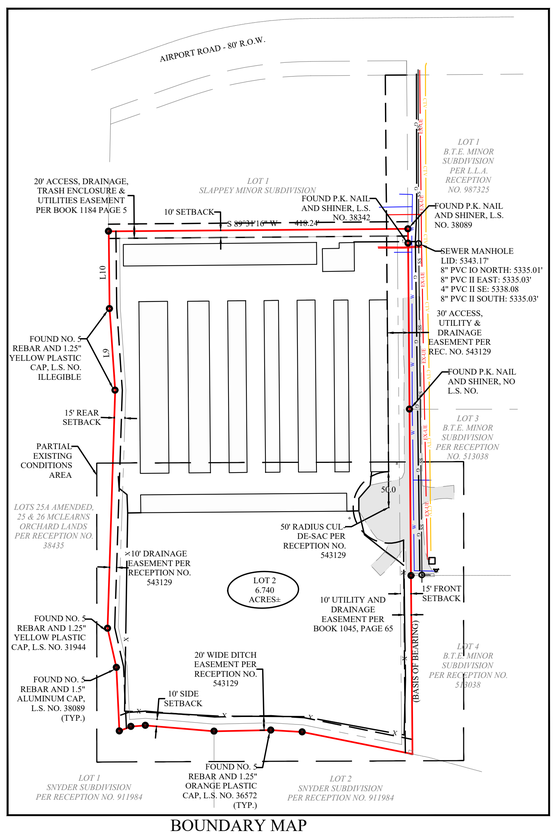
I:\2025\2025-401-moststorage\001-civil\H-Dwgs\Civil\pls-sheetset\Right Move- Cover.dwg Plotted: 12/10/2025 9:45 AM By: Andrew Young

PARTIAL EXISTING CONDITIONS SURVEY

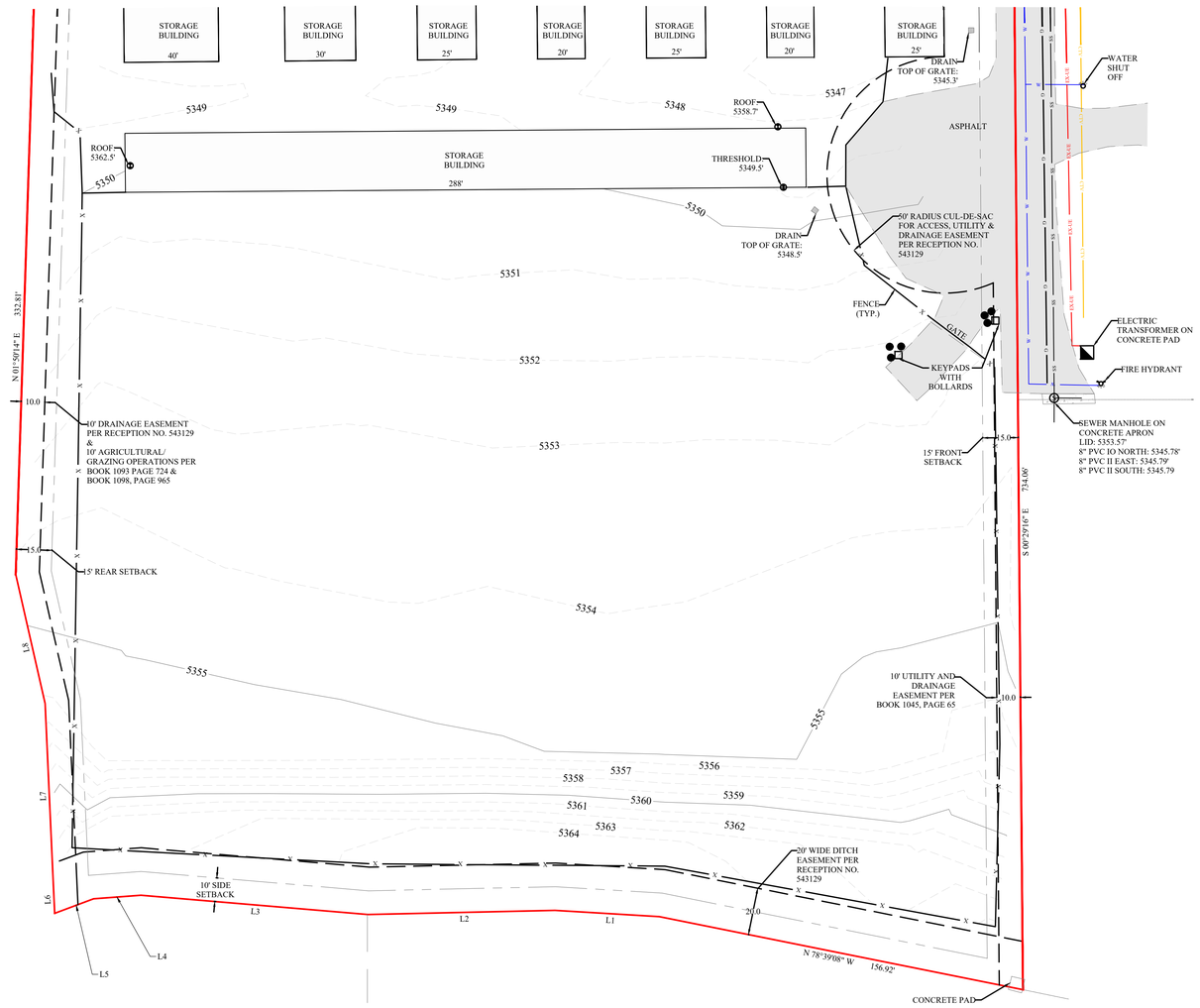
LOT 2, SLAPPEY MINOR SUBDIVISION
RECORDED APRIL 9, 1999 AS RECEPTION NO. 543129
COUNTY OF GARFIELD, STATE OF COLORADO



VICINITY MAP
SCALE 1" = 2,000'



BOUNDARY MAP
SCALE 1" = 100'



GRAPHIC SCALE
30 0 15 30 60 120
(IN FEET)
1 inch = 30 ft.

PROPERTY DESCRIPTION

LOT 2, AS DESCRIBED ON THE SLAPPEY MINOR SUBDIVISION RECORDED APRIL 9, 1999 AS RECEPTION 543129 IN THE GARFIELD COUNTY CLERK AND RECORDER'S OFFICE.

NOTES:

1) THIS PROPERTY IS SUBJECT TO RESERVATIONS, RESTRICTIONS, COVENANTS, SETBACKS AND EASEMENTS OF RECORD, OR IN PLACE. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT THEREFORE, EXCEPTIONS TO TITLE THAT MAY AFFECT THE SUBJECT PROPERTY HAVE NOT BEEN RESEARCHED BY DRAKE CONSULTING, INC.

2) THE DATE OF THIS SURVEY WAS JULY 28, 2025.

3) BASIS OF BEARINGS FOR THIS SURVEY IS A BEARING OF S00°29'16"E BETWEEN THE NORTHEAST CORNER OF LOT 2, A PK NAIL WITH A BRASS DISK, LS 10871, FOUND IN PLACE AND THE NORTHWEST CORNER OF LOT 4 OF THE B.T.E. MINOR SUBDIVISION PER RECEPTION NO. 513038, A 1.5" ALUMINUM CAP, LS 38089 FOUND IN PLACE. BEARINGS ARE BASED ON THE SLAPPEY MINOR SUBDIVISION AS RECORDED APRIL 9, 1999 AS RECEPTION NO. 543129.

4) UNITS OF MEASURE FOR ALL DIMENSIONS SHOWN HEREON IS U.S. SURVEY FEET.

5) THIS SURVEY IS BASED ON SPECIAL WARRANTY DEED RECORDED JANUARY 21, 1999 AS RECEPTION NO. 539122 AND SLAPPEY MINOR SUBDIVISION RECORDED APRIL 9, 1999 AS RECEPTION NO. 543129 IN THE GARFIELD COUNTY CLERK AND RECORDER'S OFFICE, ALIGN SURVEYING, LLC'S ALTA/NSPS LAND TITLE SURVEY DATED OCTOBER 27, 2024 JOB NO. 3054024, AND CORNERS FOUND IN PLACE.

6) ELEVATIONS ARE ASSUMED BASED ON THE NORTHEAST CORNER OF THE SUBDIVISION BOUNDARY, LOT 1, BEING A NO. 5 REBAR, ELEVATION 5339.41'. CONTOUR INTERVALS EQUAL 1 FOOT.

7) THIS PROPERTY IS ZONED AIRPORT LIGHT INDUSTRIAL (A-LI) PER ZONE DISTRICT MAP OF THE CITY OF RIFLE AMENDED NOVEMBER 18, 2015.
SETBACKS ARE AS FOLLOWS:
FRONT (LOCAL): 15'
SIDE YARD: 10'
REAR YARD: 15'

8) UTILITIES AND EXISTING BUILDINGS HAVE BEEN SHOWN PER ALIGN SURVEYING, LLC'S ALTA/NSPS LAND TITLE SURVEY DATED OCTOBER 27, 2024 JOB NO. 3054024.

SURVEY STATEMENT

I, TRAVIS J KAISER, DO HEREBY STATE THAT THIS EXISTING CONDITIONS SURVEY WAS PREPARED BY DRAKE CONSULTING, INC. FOR CALIBER.

I FURTHER STATE THAT THE IMPROVEMENTS ON THE ABOVE DESCRIBED PARCEL ON THIS DATE, JULY 28, 2025, EXCEPT UTILITY CONNECTIONS, ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PARCEL, EXCEPT AS SHOWN, THAT THERE ARE NO ENCROACHMENTS UPON THE DESCRIBED PREMISES BY IMPROVEMENTS ON ANY ADJOINING PREMISES, EXCEPT AS INDICATED, AND THAT THERE IS NO APPARENT EVIDENCE OR SIGN OF ANY EASEMENT CROSSING OR BURDENING ANY PART OF SAID PARCEL, EXCEPT AS NOTED. I FURTHER STATE THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT, THEREFORE, ANY EXCEPTIONS THAT MAY AFFECT THE SUBJECT PROPERTY HAVE NOT BEEN RESEARCHED BY DRAKE CONSULTING, INC.

PRELIMINARY
FOR REVIEW
08/14/2025

TRAVIS J. KAISER,
COLORADO P.L.S. NO. 38294
FOR, AND ON BEHALF OF DRAKE CONSULTING, INC.

LEGEND

LINE

BOUNDARY LINE
BOUNDARY ADJOINER
FENCE LINE
SETBACK
EASEMENT LINE
SECTION LINE
GAS LINE
COMMUNICATIONS
SEWER
ELECTRIC
WATER

MONUMENT DESCRIPTIONS

FOUND MONUMENT AS SHOWN HEREON

FOUND NO. 5 REBAR WITH 1.5" ALUMINUM CAP, L.S. NO. 38089

FOUND NO. 5 REBAR WITH 1.25" YELLOW PLASTIC CAP, L.S. NO. 36572

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L1	N86°32'47"W	44.22'
L2	S88°44'31"W	79.15'
L3	N85°08'37"W	96.32'
L4	S85°45'03"W	20.12'
L5	S69°29'40"W	17.56'
L6	N02°37'16"W	11.62'

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L7	N02°37'16"W	77.19'
L8	N12°49'48"W	56.11'
L9	N03°52'24"W	114.28'
L10	N00°40'05"W	108.15'

Drake Consulting, Inc.
Land Surveying
PO Box 709 Rifle, CO 81650
Phone 970-987-1389
DrakeConsultingInc.com

Drawn By:	NO.	Date	Revision	By
ARK/JG				
Checked By: TJK				
Date: 08/13/2025				
Computer File: 052 EX CON				

CALIBER
PARTIAL EXISTING CONDITIONS SURVEY
1453 AIRPORT ROAD, RIFLE, CO 81650

Project NO. 250052

NOTICE: ACCORDING TO COLORADO LAW, YOU **MUST** COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

START REMOVAL OF EXISTING CHAIN LINK FENCE

INSTALL 283 LF NEW 6' HIGH CHAIN LINK FENCE

REMOVE EXISTING CHAIN LINK FENCE

END SWALE

10' Drainage easement per reception no. 543129

END REMOVAL OF EXISTING CHAIN LINK FENCE

105.8'

190.0'

PROPOSED INDOOR STORAGE UNIT FACILITY

70.0'

60.7'

PROPSED CONCRETE WALKWAY

REMOVE EXISING ASPHALT 592 SF

REMOVE AND RELOCATE ELECTRIC LINE TO BE 5' OFF OF FACE OF PROPOSED BUILDING

EXISTING ASPHALT

50' Radius cul-de-sac for access, utility & drainage easement per reception no. 543129

INSTALL NEW ASPHALT 75 SF

L=30.8
R=60.5

20.00'

INSTALL D50 9" RIP RAP @ 12" MIN. DEPTH IN DITCH OVER NEW WATER MAIN

END SWALE

INSTALL BOLLARDS 6' FROM CENTER OF HYDRANT

64,263 SF DRIVE SURFACE– INSTALL 4" MIN. ASPHALT MILLINGS

START SWALE

PROPOSED VEHICLE STORAGE AWNING

294.0'

ON CENTER COLUMN SPACING: VARIES. RE. STRUCTURAL

TOP OF FOUNDATION PEDESTAL (TYP.) RE: STRUCTURAL

50.00'

40.0'

7.0'

START SWALE

10' Utility & drainage easement per book 1045, page 65

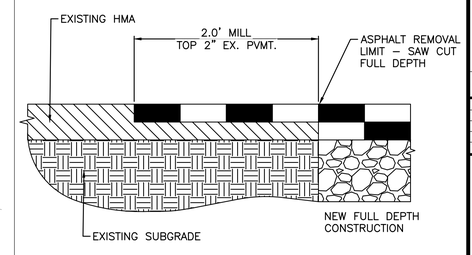
20' Ditch easement per reception no. 543129

N 78°39'08" W

156.92'

L11 L12 L13 L14 L15 L16 L17

8.0'
4.0'
35.0'
15.0'
25.0'
11.9'
12.0'
5.0' (TYP.)
20.0'
30.0'
57.2'
30.0'
12.0'
12.0'
35.0'
12.0' (TYP.)
8.0' (TYP.)
20.0'
20.0'
12.0'
25.0'
50.0'
12.0'
20.0'
12.0'
40.0'



PAVEMENT JOINT DETAIL
N.T.S.

Graphic Scale
0 10 20 40
In Feet: 1" = 20'

SGM
118 West Sixth Street, Suite 200
Glenwood Springs, CO 81601
970.945.1004
www.sgm-inc.com

COLORADO LICENSED PROFESSIONAL ENGINEER 28152 12/10/25

Right Move Storage
Rifle, Colorado

#	Revision	Date	By:
1			
2			
3			

Project Milestone: PRELIMINARY NOT FOR CONSTRUCTION

Job No.	2025-401.001
Drawn by:	AY
Print Date:	12.10.2025
QC: XX	PE: JSS
File:	Right Move- Site Plan

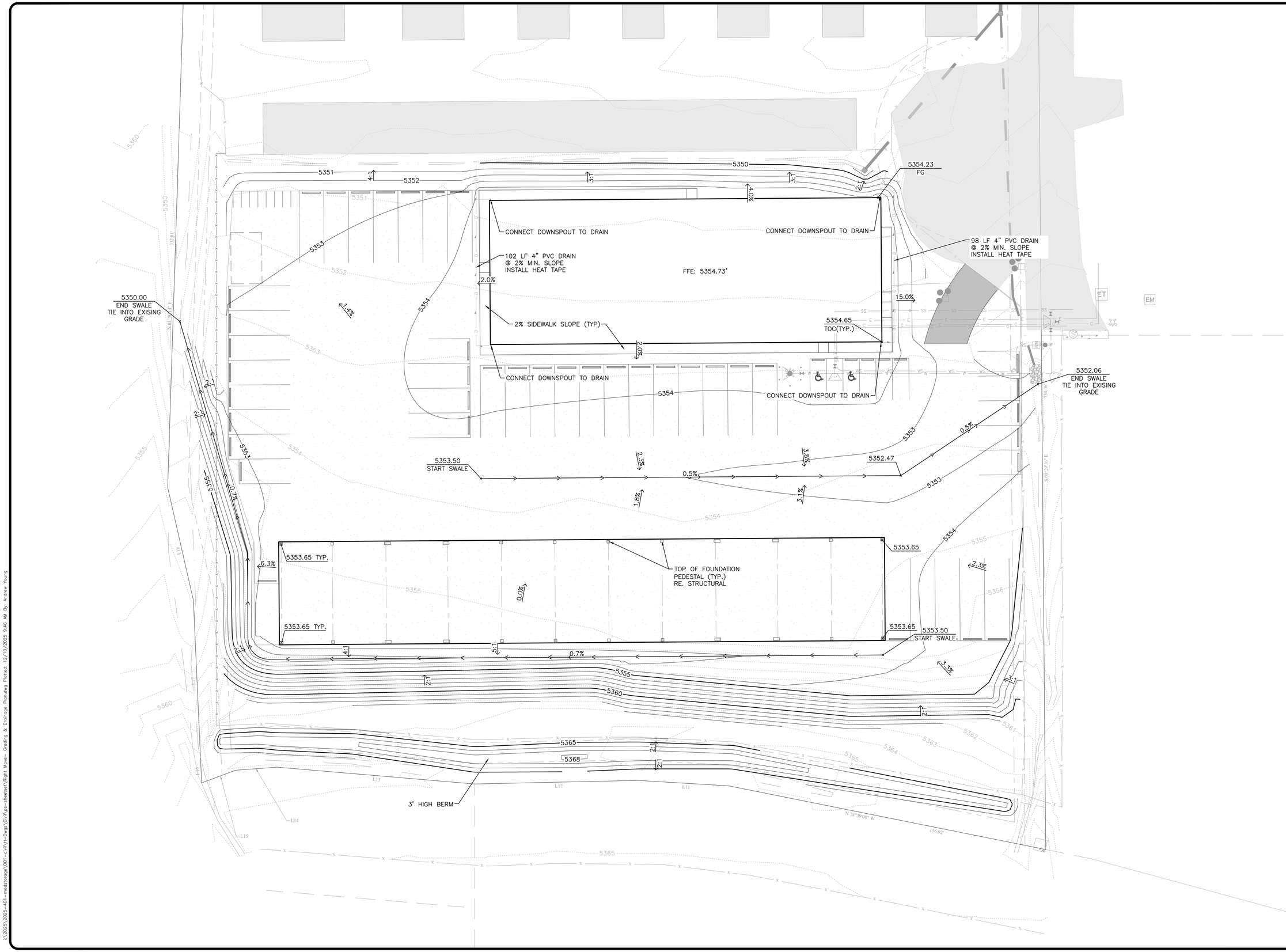
Title:

Site Plan

Dwg No.
6

Of: 12

J:\2025\2025-401-moststorage\001-civil\H-Dwgs\Civil\gs-sheetset\Right Move- Site Plan.dwg Plotted: 12/10/2025 9:46 AM By: Andrew Young



Graphic Scale

0 10 20 40

In Feet: 1" = 20'

SGM
118 West Sixth Street, Suite 200
Glenwood Springs, CO 81601
970.945.1004
www.sgm-inc.com

COLORADO LICENSED
PROFESSIONAL ENGINEER
28152
12/10/25

Right Move Storage
Rifle, Colorado

#	Revision	Date	By:
1			
2			
3			

Project Milestone: PRELIMINARY NOT FOR CONSTRUCTION

Job No.	2025-401.001
Drawn by:	AY
Print Date:	12.10.2025
QC: XX	PE: JSS
File: Right Move- Grading & Drainage Plan	

Title:

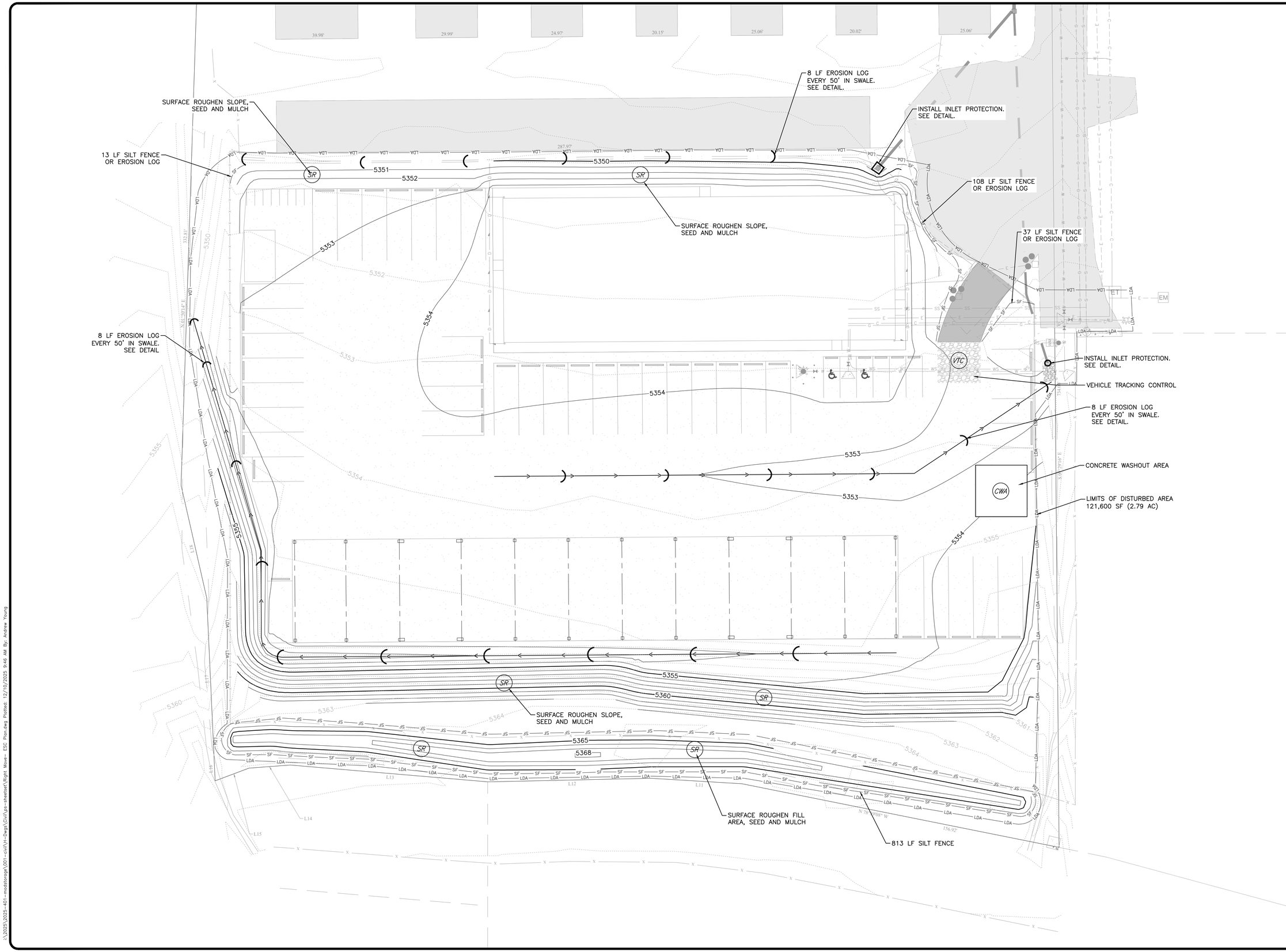
Grading & Drainage Plan

Dwg No.

7

Of : 12

i:\2025\2025-401-moddsbrage\001-civil\1-Dwgs\Civil\pn-sheetset\Right Move- Grading & Drainage Plan.dwg Plotted: 12/10/2025 9:46 AM By: Andrew Young



Graphic Scale

0 10 20 40

In Feet: 1" = 20'

SGM
118 West Sixth Street, Suite 200
Glenwood Springs, CO 81601
970.945.1004
www.sgm-inc.com

COLORADO LICENSED PROFESSIONAL ENGINEER 28152 12/10/25

Right Move Storage

Rifle, Colorado

Revision	Date	By:
1		
2		
3		

Project Milestone: PRELIMINARY NOT FOR CONSTRUCTION

Job No.	2025-401.001
Drawn by:	AY
Print Date:	12.10.2025
QC: XX	PE: JSS
File:	Right Move- ESC Plan

Title:

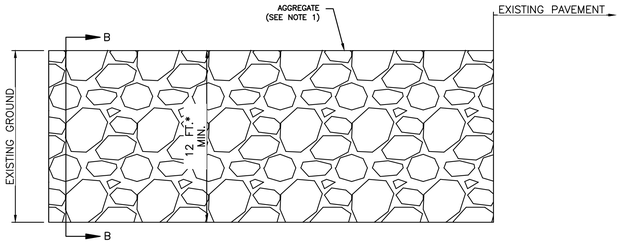
E&S Control Plan

Dwg No.

8

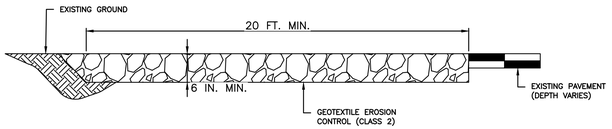
Of : 12

i:\2025\2025-401-modstorage\001-civil\H-Dwgs\Civil\gs-sheetset\Right Move- ESC Plan.dwg Plotted: 12/10/2025 9:46 AM By: Andrew Young

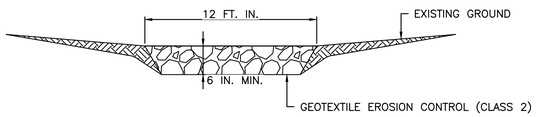


* SHALL EXTEND FULL WIDTH OF INGRESS AND EGRESS OPERATION.

PLAN VIEW



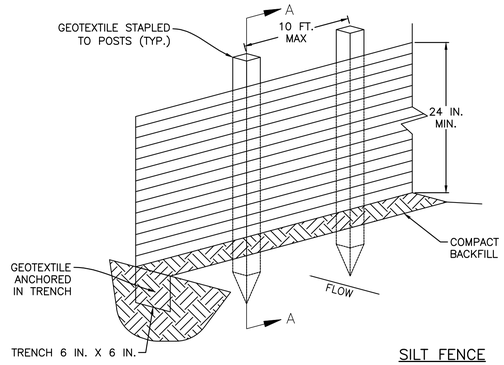
ELEVATION SECTION

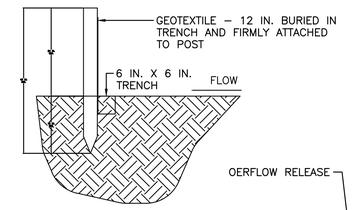


SECTION B–B

NOTES:
1. AGGREGATE SHALL CONFORM TO SUBSECTION 208.02 (I).
2. THE CONTRACTOR SHALL PROTECT CURB AND GUTTER THAT CROSSES THE ENTRANCE FROM DAMAGE WHILE NOT BLOCKING FLOW OF WATER THRU STRUCTURE. PROTECTION OF THE CURB AND GUTTER SHALL BE INCLUDED THE COST OF WORK AND NOT PAID FOR SEPARATELY.
3. ALL MATERIALS AND LABOR TO COMPLETE THE VEHICLE TRACKING PAD SHALL BE INCLUDED IN THE COST OF WORK AND NOT PAID FOR SEPARATELY.

VEHICLE TRACKING PAD

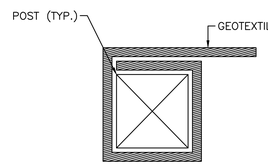




SECTION A–A

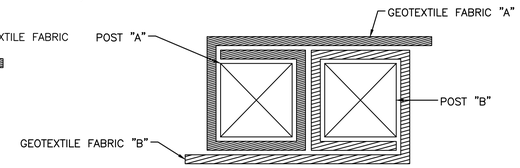
SILT FENCE

NOTES:
1. GEOTEXTILE SHALL BE ATTACHED TO WOOD POSTS WITH THREE OR MORE STAPLES PER POST. STAPLES SHALL BE HEAVY DUTY WIRE AND AT LEAST 1 IN. LONG.
2. WOOD POST SHALL BE 1 IN. X 1 IN. NOMINAL.
3. THE PAY ITEM NUMBER FOR SILT FENCE (LF) IS 208–0020.
4. THE SILT FENCE SHALL BE PLACED ON THE CONTOUR (AT THE SAME ELEVATION ± 6 IN.). THE ENDS SHALL BE FLARED UP SLOPE (MINIMUM ELEVATION GAIN OF 18 IN.).



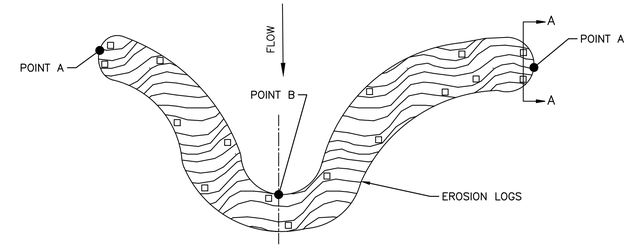
END SECTION DETAIL (PLAN VIEW)

NOTE:
1. THE END OF THE SILT FENCE FABRIC SHALL BE WRAPPED APPROX. 6 IN. AROUND A WOODEN POST ONE FULL TURN, THEN SECURED ALONG THE POST WITH 6 HEAVY DUTY WIRE STAPLES AT LEAST 1 IN. LONG.

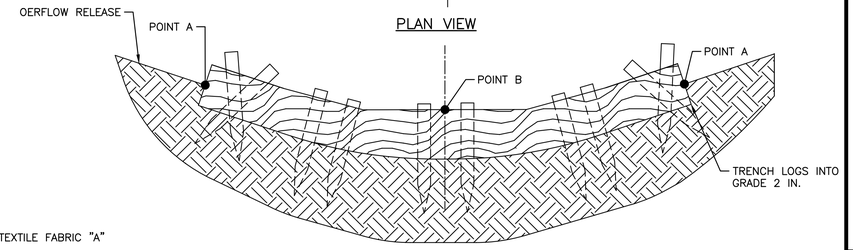


END SECTION DETAIL (PLAN VIEW)

NOTES:
1. THE END OF THE SILT FENCE FABRIC SHALL BE WRAPPED APPROX. 6 IN. AROUND A WOODEN POST ONE FULL TURN, THEN SECURED ALONG THE POST WITH 6 HEAVY DUTY WIRE STAPLES AT LEAST 1 IN. LONG.
2. POSTS SHALL BE TIGHTLY ABUTTED WITH NO GAPS TO PREVENT POTENTIAL FLOWOTHROUGH OF SEDIMENT AT JOINT.

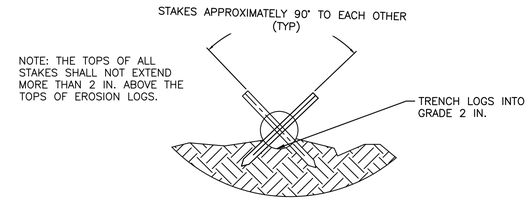


PLAN VIEW



NOTE: POINTS "A" SHALL BE A MINIMUM 4 IN. HIGHER THAN POINT "B".

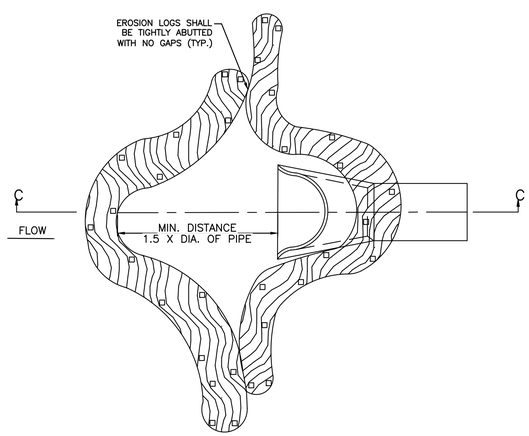
ELEVATION



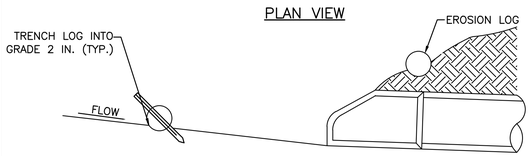
SECTION A–A

NOTES:
1. EROSION LOGS SHALL BE EMBEDDED 2 IN. INTO THE SOIL.
2. EROSION LOGS SHALL BE TIGHTLY ABUTTED WITH NO GAPS.
3. V–SHAPED TEMPORARY DITCHES SHALL NOT BE USED. DITCHES SHALL BE GRADED IN A PARABOLIC OR TRAPEZOIDAL SHAPE.

EROSION LOG IN SWALE INSTALLATION



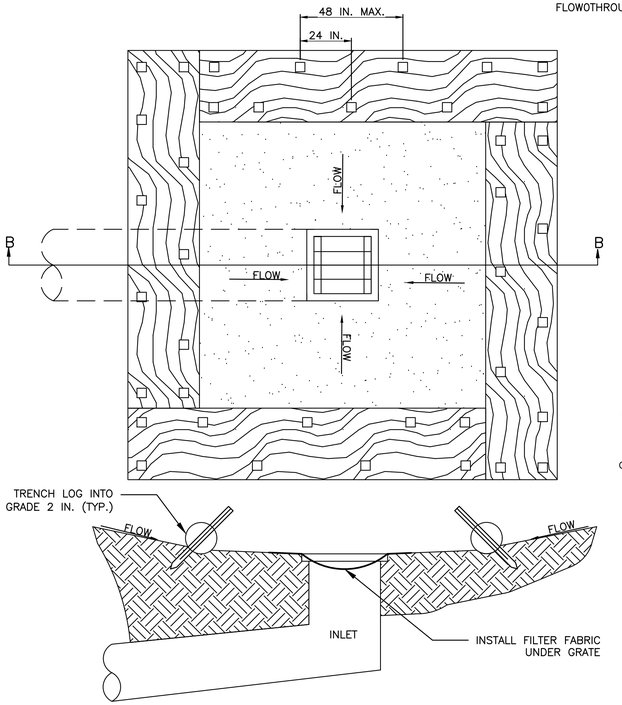
PLAN VIEW



NOTE: TOP OF STAKE SHALL NOT EXTEND PAST TOP OF EROSION LOG MORE THAN 2 IN.

SECTION C–C

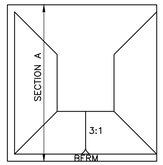
EROSION LOG CULVERT INLET PROTECTION



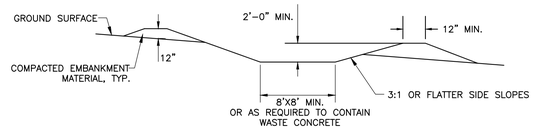
NOTE: LOCATE EROSION LOGS AT THE OUTSIDE EDGE OF THE CONCRETE APRON.

SECTION B–B

EROSION LOG FILTER AT DROP INLET



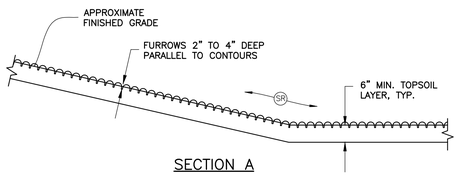
PLAN VIEW



SECTION A

CONCRETE WASHOUT AREA (CWA)

NOTES:
1. SEE PLAN VIEW FOR LOCATIONS OF CONCRETE WASHOUT AREA.
2. THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
3. EXCAVATED MATERIAL SHALL BE UTILIZED IN PERIMETER BERM CONSTRUCTION
4. CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
5. AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE SITE.
6. WHEN THE CONCRETE WASHOUT AREA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, DRILL SEED AND CRIMP MULCH OR OTHERWISE STABILIZE IN A MANNER APPROVED BY THE LOCAL JURISDICTION.
7. INSPECT WEEKLY, DURING AND AFTER ANY STORM EVENT.



SECTION A

SURFACE ROUGHENING INSTALLATION NOTES

1. SURFACE ROUGHENING SHALL BE PROVIDED ON ALL FINISHED GRADES (SLOPES AND "FLAT" AREAS) WITHIN 2 DAYS OF COMPLETION OF FINISHED GRADE (FOR AREAS NOT RECEIVING TOPSOIL) OR WITHIN 2 DAYS OF TOPSOIL PLACEMENT.
2. AREAS WHERE BUILDING FOUNDATIONS, PAVEMENT, OR SOD IS TO BE PLACED WITHIN 7–DAYS OF FINISHED GRADING DO NOT NEED TO BE SURFACE ROUGHENED.
3. DISTURBED SURFACES SHALL BE ROUGHENED USING RIPPING OR TILLING EQUIPMENT ON THE CONTOUR OR TRACKING UP AND DOWN A SLOPE USING EQUIPMENT TREADS.

SURFACE ROUGHENING MAINTENANCE NOTES

1. THE SWMP MANAGER SHALL INSPECT THE SURFACE ROUGHENING WEEKLY, DURING AND AFTER ANY STORM EVENT AND MAKE REPAIRS OR CLEAN OUT UPSTREAM SEDIMENT AS NECESSARY.
2. VEHICLES AND EQUIPMENT SHALL GENERALLY BE CONFINED TO ACCESS DRIVES AND SHALL NOT BE DRIVEN OVER AREAS THAT HAVE BEEN SURFACE ROUGHENED.
3. IN NON–TURF GRASS FINISHED AREAS, SEEDING AND MULCHING SHALL TAKE PLACE DIRECTLY OVER SURFACE ROUGHENED AREAS WITHOUT FIRST SMOOTHING OUT THE SURFACE.
4. IN AREAS NOT SEEDED AND MULCHED AFTER SURFACE ROUGHENING, SURFACES SHALL BE RE–ROUGHENED AS NECESSARY TO MAINTAIN GROOVE DEPTH AND SMOOTH OVER ANY RILL EROSION.

SURFACE ROUGHENING (SR)
NOT TO SCALE

Graphic Scale
0 3 5 10
In Feet: 1" = 5'

SGM
118 West Sixth Street, Suite 200
Glenwood Springs, CO 81601
970.945.1004
www.sgm-inc.com

COLORADO LICENSED PROFESSIONAL ENGINEER 28152 12/10/25

Right Move Storage
Rifle, Colorado

#	Revision	Date	By
1			
2			
3			

Project Milestone: PRELIMINARY NOT FOR CONSTRUCTION

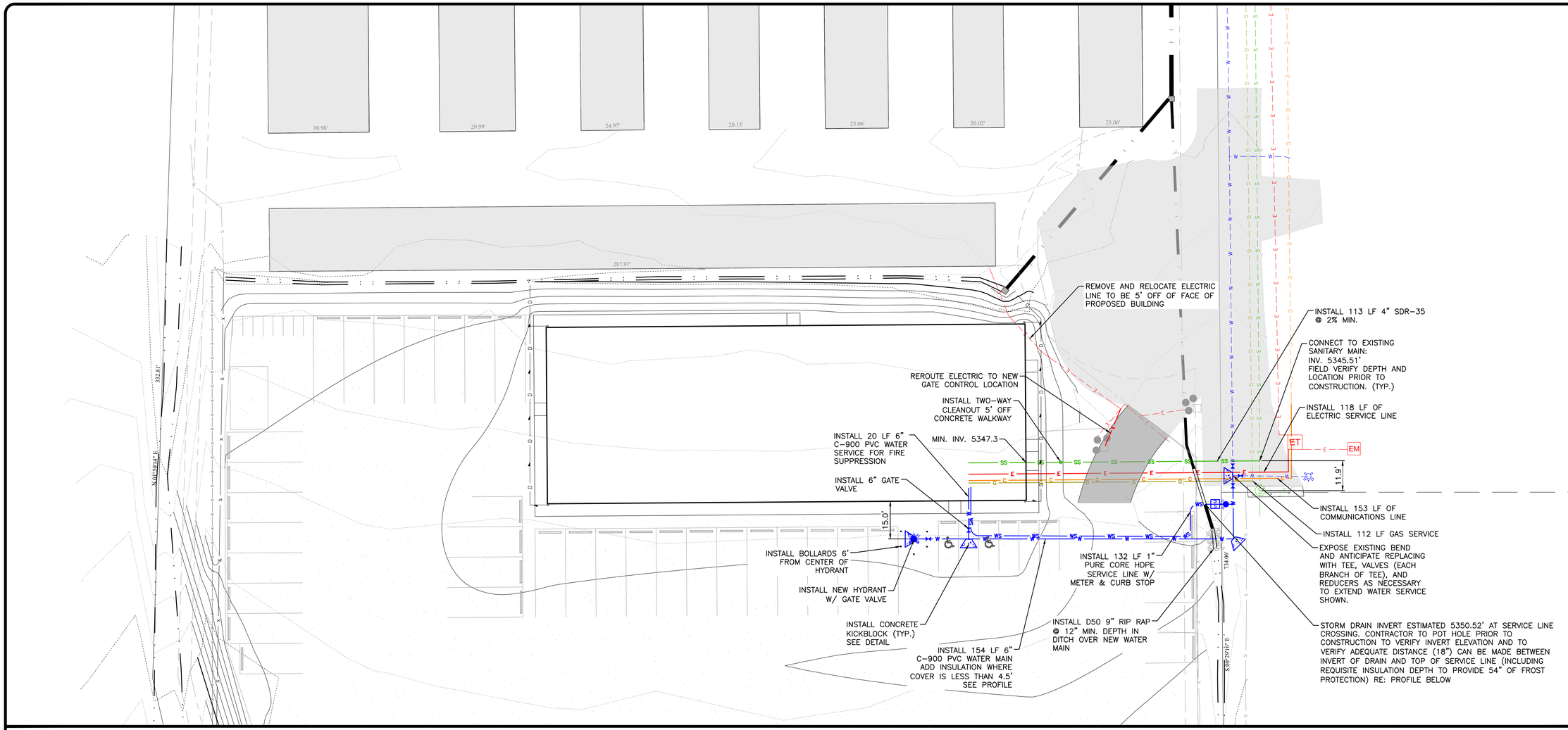
Job No.	2025-401.001
Drawn by:	AY
Print Date:	12.10.2025
QC:	XX PE: JSS
File:	Right Move- ESC Details

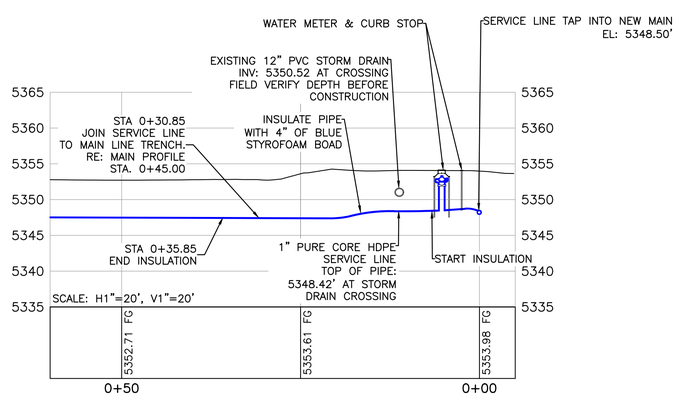
Title: E&S Control Details

Dwg No. 2

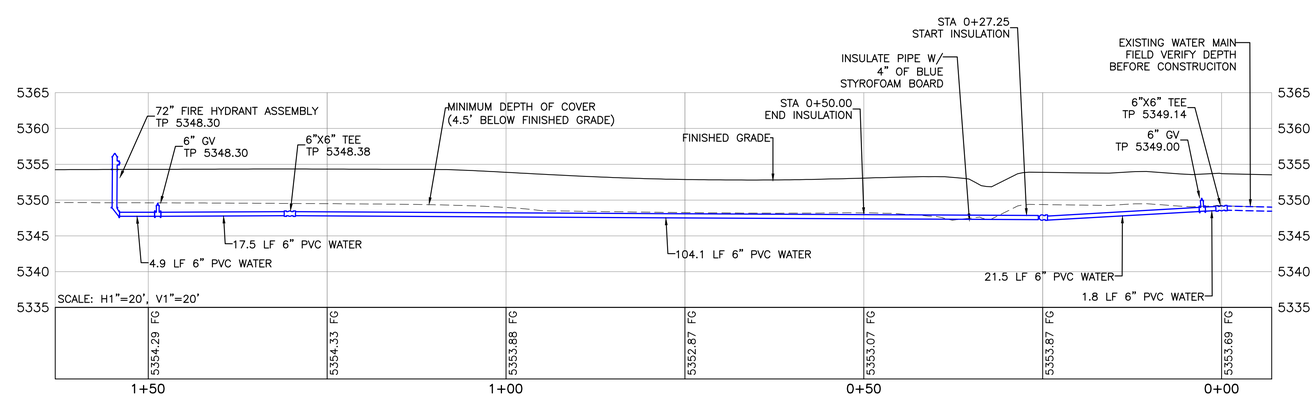
Of: 12

I:\2025\2025-401-modstorage\001-civil\1-Dwgs\Civil\pa-sheetset\Right Move- ESC Details.dwg Plotted: 12/10/2025 9:46 AM By: Andrew Young





WATER SERVICE PROFILE: TAP & STORM CROSSING



WATER MAIN PROFILE & COVER CHECK

Graphic Scale
0 10 20 40
In Feet: 1" = 20'

SGM
118 West Sixth Street, Suite 200
Glenwood Springs, CO 81601
970.945.1004
www.sgm-inc.com

COLORADO LICENSED PROFESSIONAL ENGINEER 28152 12/10/25

Right Move Storage
Rifle, Colorado

#	Revision	Date	By:
1			
2			
3			

Project Milestone: PRELIMINARY NOT FOR CONSTRUCTION

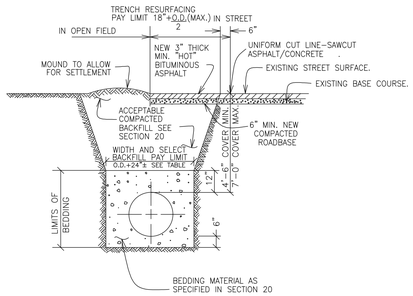
Job No.	2025-401.001
Drawn by:	AY
Print Date:	12.10.2025
QC:	XX PE: JSS
File:	Right Move- Utility Plan

Title:

Utility Plan

Dwg No.
10
Of: 12

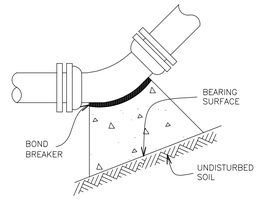
i:\2025\2025-401-modstorage\401-civil\H-Dwgs\Civil\pa-sheetset\Right Move- Utility Plan.dwg Plotted: 12/10/2025 9:46 AM By: Andrew Young



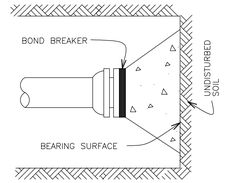
PIPE DIAMETER	MINIMUM WIDTH	MAXIMUM WIDTH
4"	1'-4"	2'-4"
6"	1'-6"	2'-6"
8"	1'-8"	2'-8"
12"	2'-0"	3'-0"
16"	2'-4"	3'-4"
20"	2'-8"	3'-8"
24"	4'-0"	5'-0"

NOTES:
1. PAVING SHALL COMPLY WITH SECTION 15
2. TRENCH WALLS TO BE SUPPORTED AS REQUIRED BY O.S.H.A.
3. ALL DISTURBED SURFACES SHALL BE RESTORED TO ORIGINAL CONDITIONS.
4. BACKFILL COMPACTION SHALL BE 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D698 OR AASHTO T99.
5. IF THE EXISTING PAVEMENT IS GREATER THAN 3", MATCH EXISTING WITH NEW PAVEMENT.
6. IF THE EXISTING ROAD BASE IS GREATER THAN 6", MATCH EXISTING WITH NEW ROAD BASE.

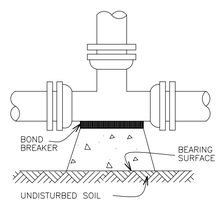
TYPICAL TRENCH SECTION



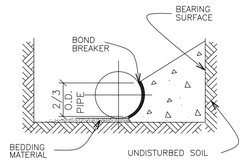
$11\frac{1}{4}°$, $22\frac{1}{2}°$, 45° AND 90° BENDS



DEAD END



TEE



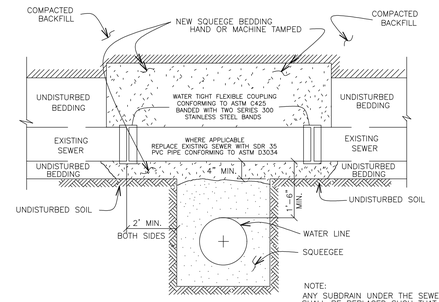
TYPICAL CROSS SECTION

NOTES:
1.) BEARING SURFACES SHOWN IN CHART ARE MINIMUM.
2.) BASED ON 150 PSI INTERNAL PIPE PRESSURE PLUS WATER HAMMER. 4",6",8" AND 12" WATER HAMMER = 110 P.S.I. 16",20"AND 24" WATER HAMMER = 70 P.S.I.
3.) BASED ON 3,000 psf SOIL BEARING CAPACITY.
4.) ALL BENDS, TEE BRANCHES AND DEAD ENDS SHALL BE RESTRAINED AND KICK BLOCKED.

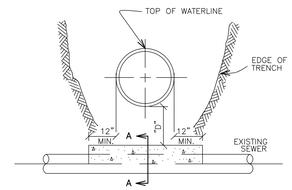
MINIMUM BEARING SURFACE AREA
(IN SQUARE FEET)

SIZE OF PIPE	BENDS $11\frac{1}{4}°$	$22\frac{1}{2}°$	45°	90°	TEE OR DEAD END
4"	1.00	1.00	1.00	1.50	1.50
6"	1.00	1.25	2.25	3.00	3.00
8"	1.00	2.00	4.00	5.25	5.25
12"	2.25	4.50	8.75	11.25	11.25
16"	3.75	7.50	14.50	27.00	19.00
20"	5.00	10.00	19.50	35.50	25.00
24"	7.00	14.00	27.75	51.00	36.00

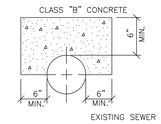
CONCRETE KICKBLOCKS, BEARING SURFACES, AND INSTALLATION



NOTE:
ANY SUBDRAIN UNDER THE SEWER SHALL BE REPLACED SUCH THAT NO FLOW SHALL ENTER THE WATER LINE TRENCH.



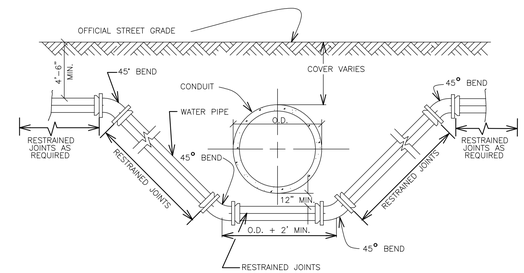
SEWER CROSSING UNDER
WITH "D" LESS THAN 2'



SECTION A–A

NOTE:
ALL EXISTING SEWER DAMAGED DURING INSTALLATION MUST BE REPLACED WITH PVC PIPE.

WATER CROSSING STORM & SANITARY SEWERS



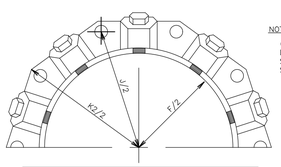
NOTES:

1.) LENGTH OF EXTENSION OF PIPE AND RESTRAINED JOINTS SHALL BE IN ACCORDANCE WITH THESE ENGINEERING STANDARDS.

2.) CATHODIC PROTECTION SHALL BE AS REQUIRED IN ACCORDANCE WITH THESE ENGINEERING STANDARDS.

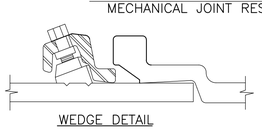
3.) A BORED CROSSING MAY BE REQUIRED BY THE CITY ENGINEER.

OPEN CUT CROSSING BENEATH CONDUIT

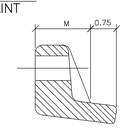


MECHANICAL JOINT RESTRAINT

NOTES:
OTHER MECHANICAL JOINT RESTRAINT DEVICES APPROVED ARE UNI-FLANGE SERIES 1500 AND STAR PIPE ALLGRIP SERIES 3600.



WEDGE DETAIL



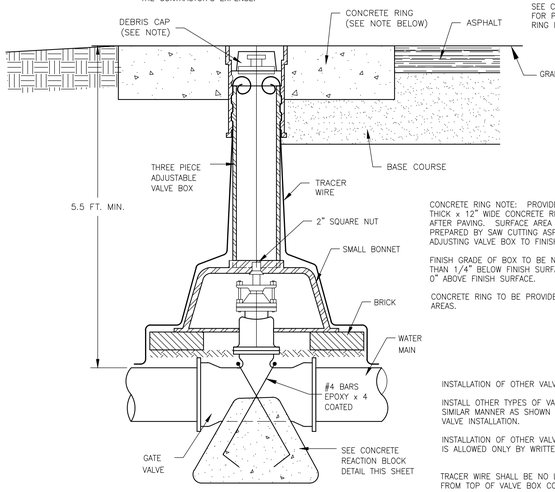
BOLT HOLE DETAIL

DIMENSIONS

	NOMINAL PIPE SIZE	NO. OF BOLTS	NO. OF WEDGES	K2 INCHES	J INCHES	F INCHES	M INCHES	
PVC	4"	4	4	9.13	7.50	4.90	0.50	PVC
	6"	6	6	11.13	9.50	7.00	0.50	
	8"	6	6	13.38	11.75	9.15	0.62	
	12"	8	8	17.88	16.25	13.30	0.75	
	14"	10	10	20.38	18.75	15.49	0.88	
	16"	12	12	22.63	21.00	17.58	0.88	
	18"	12	12	24.88	23.25	19.68	1.13	
	20"	14	14	27.13	25.50	21.79	1.25	
	24"	16	16	31.63	30.00	25.99	1.42	
	30"	20	20	39.12	36.88	32.22	1.50	
	36"	24	24	46.00	43.75	38.52	1.50	
DIP	30"	20	20	39.12	36.88	32.17	2.25	DIP
	36"	24	24	46.00	43.75	38.47	2.25	
	42"	28	28	53.48	50.62	44.67	3.88	
	48"	32	32	60.36	57.50	50.97	3.88	

MECHANICAL JOINT RESTRAINT

NOTES:
1. ALL VALVES ADJACENT TO FITTING SHALL BE FLANGE x MJ. FITTING SHALL BE FLANGED NEXT TO VALVE. LINE VALVES TO BE MJ x MJ.
2. DESIGN LOCATIONS OF VALVES ARE OUTSIDE OF CONCRETE CURB/GUTTER AND VALLEY PANS. INSTALLED VALVES WHICH CONFLICT WITH CONCRETE AREAS SHALL BE RELOCATED AT THE CONTRACTOR'S EXPENSE.



NOTE: IN UNPAVED AREAS, PROVIDE A SLIGHT GRADE FOR FINISH GRADE AWAY FROM TOP OF VALVE BOX.

SEE CONCRETE RING NOTE FOR PLACEMENT OF CONCRETE RING IN UNPAVED AREAS.

CONCRETE RING NOTE: PROVIDED A 6" THICK x 12" WIDE CONCRETE RING PLACED AFTER PAVING. SURFACE AREA SHALL BE PREPARED BY SAW CUTTING ASPHALT AND ADJUSTING VALVE BOX TO FINISH GRADE.

FINISH GRADE OF BOX TO BE NO MORE THAN 1/4" BELOW FINISH SURFACE AND 0" ABOVE FINISH SURFACE.

CONCRETE RING TO BE PROVIDED IN ALL AREAS.

INSTALLATION OF OTHER VALVE TYPES:

INSTALL OTHER TYPES OF VALVES IN A SIMILAR MANNER AS SHOWN FOR THE GATE VALVE INSTALLATION.

INSTALLATION OF OTHER VALVE TYPES IS ALLOWED ONLY BY WRITTEN APPROVAL.

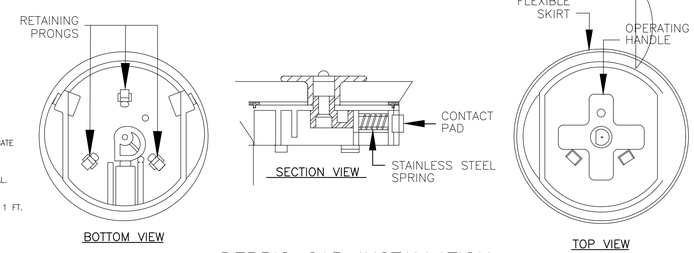
TRACER WIRE SHALL BE NO LESS THAN 1 FT. FROM TOP OF VALVE BOX COVER.

SEE DEBRIS CAP DETAIL.

TYPICAL GATE VALVE

NOTES

1. DEBRIS CAP SHALL BE INSTALLED AS CLOSE UNDER THE CAST IRON COVER WITHOUT INTERFERING WITH COVER OPERATION.
2. FLEXIBLE SKIRT SHALL BE TRIMMED TO PROVIDE A SMOOTH CONTACT WITH THE INTERIOR DIAMETER OF THE PIPE.
3. THE DEBRIS CAP SHALL BE MANUFACTURED BY SW SERVICES, INC., PHOENIX, ARIZONA OR EQUAL.
4. THE DEBRIS CAP SHALL BE COMPRISED OF A HOLLOW MEMBER HAVING A CYLINDRICAL OUTER SURFACE, A CLOSURE FOR ONE END AND THREE POINT RESILIENT CONTACT PADS PROJECTING FROM THE OUTER SURFACE. THE CAP SHALL HAVE A FLEXIBLE SKIRT PROVIDING AN OUTWARD SEAL PREVENTING DEBRIS FROM GETTING PAST THE CAP. THE CAP MUST WITHSTAND, WITHOUT SLIPPAGE, A MINIMUM VERTICAL FORCE OF 50 POUNDS, AT A LOADING RATE OF 1.0 IN/MINUTE. THE CAP SHALL BE MOLDED USING GENERAL ELECTRIC ABS #HIM 4500. THE CAP SHALL HAVE RETAINING PRONGS TO RETAIN A STANDARD LOCATING COIL.



N.T.S.

DEBRIS CAP INSTALLATION

GENERAL METER NOTES

1. Location of meter to be approved by Project Engineer
2. All settings must be inspected by the Engineering Division before backfilling.
3. If the street or ground is not to final grade at the time of installation of the meter, the owner must raise or lower the meter vault when the final grade is established. Also the meter yoke must be adjusted to 10" to 14" below frost lid.
4. Joints and galvanized piping shall not be allowed inside the meter setting.
5. A bypass is required on all meters 1–1/2" and larger unless otherwise specified by Project Engineer. 1–½" and larger irrigation only meters do not require a bypass.
6. The service line through and on both sides of the meter pit must be of type K copper (3/4"–2").
7. No connections shall be made in the meter pit. Any connections including upsizing must be made more than 5 ft. from the meter pit on the downstream side.
8. Valves shall be in conformance with these standards
   A. Valves less than 3" shall be full port ball valves only.
   B. All gate valves 3" and larger shall conform with Arvada's Standard Specifications.
9. Stop and Waste Valves shall be Mueller H–15214 or equivalent.
10. All valves 3 inch diameter and larger inside vaults shall be supported by adjustable steel pipe valve supports. 1–1/2 inch diameter and larger meters shall be supported by concrete blocks with steel shims, if required by Utilities Division.
11. Manhole rings and covers shall be in conformance with Drawing W–59 of these Engineering Standards.
12. New meter pits and covers shall be in conformance with Section 30.2 of these Engineering Standards.
13. Other meter settings: Settings of meters other than shown and detailed herein shall be considered as non–standard and shall require prior approval of proposed piping layout, meter setting and structural design of vault for each separate installation.
14. Install Ramneck between dome or set ring and all riser rings (or on barrel section when risers are not required) to prevent infiltration.

Graphic Scale
0 0 1 2
In Feet: 1" = 1'

SGM
118 West Sixth Street, Suite 200
Glenwood Springs, CO 81601
970.945.1004
www.sgm-inc.com

COLORADO LICENSED PROFESSIONAL ENGINEER 28152 12/10/25

Right Move Storage
Rifle, Colorado

#	Revision	Date	By:
1			
2			
3			

Project Milestone: PRELIMINARY NOT FOR CONSTRUCTION

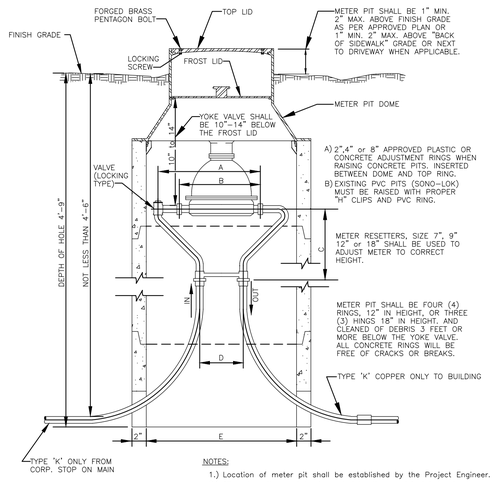
Job No.	2025-401.001
Drawn by:	AY
Print Date:	12.10.2025
QC:	XX PE: JSS
File:	Right Move- Utility Details

Title:

Utility Details (1)

Dwg No.
11
Of: 12

I:\2025\2025-401-moststorage\001-civil\H-Dwgs\Civil\ps-sheetset\Right Move- Utility Details.dwg Plotted: 12/10/2025 9:46 AM By: Andrew Young



NOTES:

1.) Location of meter pit shall be established by the Project Engineer.
2.) All meter pits must be inspected by the municipal inspector before backfilling.
3.) Meter pits shall not be installed in driveways, sidewalks or parking lots. Unless approved by Project Engineer.
4.) A multi-family dwelling, serviced by a 3/4" water line will use a 3/4" meter.
5.) When approved for installation in asphalt, top of meter pit shall be flush with finish grade and recessed lid.
6.) No concrete floor allowed in meter pit.
7.) Lawn sprinker connections shall be a minimum of five feet from the meter pit wall, on the out let side.

METER SIZE	A	B	C	D	E
5/8" + 3/4"	12– 5/8"	7–7/8"	7–13/16"	4"	24"
3/4"	14– 1/4"	9–3/8"	8–15/16"	5"	24"
1"	17– 1/4"	11–1/8"	11– 1/4"	6"	24"

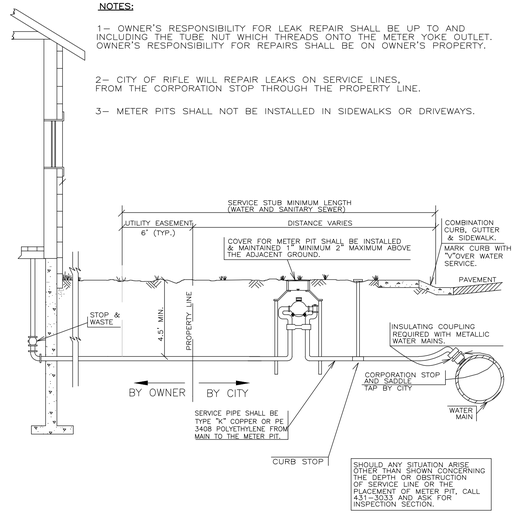
OUTSIDE METER SETTING

NOTES:

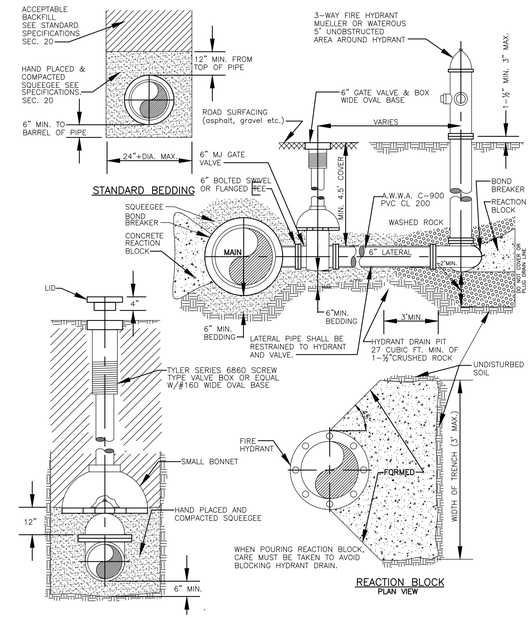
1– OWNER'S RESPONSIBILITY FOR LEAK REPAIR SHALL BE UP TO AND INCLUDING THE TUBE NUT WHICH THREADS ONTO THE METER YOKE OUTLET. OWNER'S RESPONSIBILITY FOR REPAIRS SHALL BE ON OWNER'S PROPERTY.

2– CITY OF RIFLE WILL REPAIR LEAKS ON SERVICE LINES, FROM THE CORPORATION STOP THROUGH THE PROPERTY LINE.

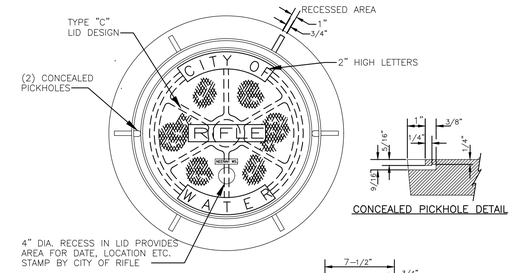
3– METER PITS SHALL NOT BE INSTALLED IN SIDEWALKS OR DRIVEWAYS.

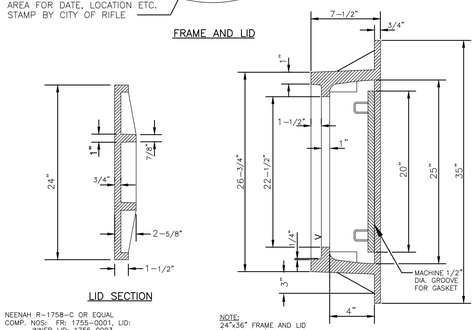


WATER SERVICE PROFILE



FIRE HYDRANT INSTALLATION

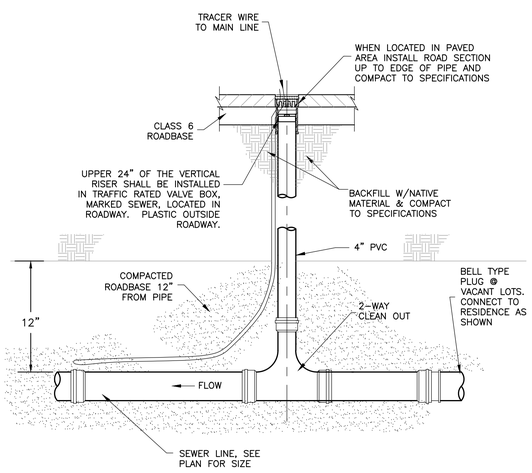




NEENAH R–1758–C OR EQUAL.
COMP. NOS: FR: 1755–0001, LID: INNER LID: 1755 0003
MATERIAL: CAST GRAY IRON ASTM A–48, CLASS 35B
FINISH: STD. BLACK ASPHALT EMULSION
APPROX. WEIGHT: 455 LBS.

NOTE:
24"x36" FRAME AND LID (NOT SHOWN) SHALL BE DEETER #1191 OR EQUAL (NO FROST LID).

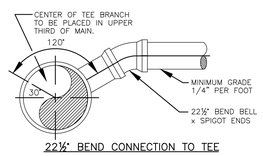
WATER METER FRAME & LID



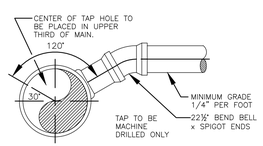
NOTES:

1. MUST BE TRAFFIC RATED IF INSTALLED IN TRAFFIC AREAS.
2. INSTALL 2–WAY SEWER CLEAN–OUT 5 FEET FROM RESIDENCE.
3. NO CLEAN–OUTS TO BE INSTALLED ON VACANT LOTS.

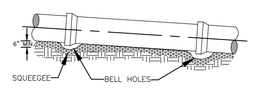
TWO–WAY SEWER CLEANOUT



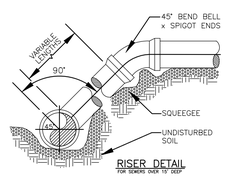
22½° BEND CONNECTION TO TEE



22½° BEND & SADDLE CONNECTION



ACCEPTABLE BEDDING

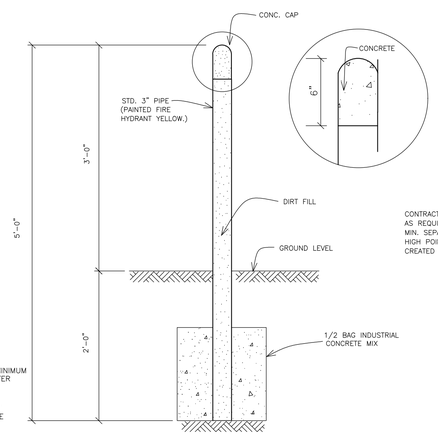


RISER DETAIL
FOR SEWERS OVER 10' DEEP

NOTES:

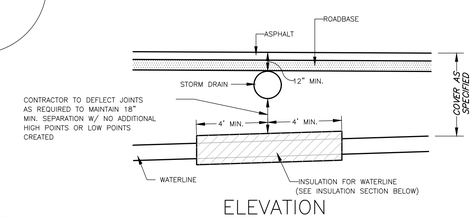
1.) BELLS SHALL NOT TOUCH THE SIDES OR BOTTOM OF THE BELL HOLE.
2.) THE BARREL SECTION SHALL BE SUPPORTED THROUGHOUT ITS LENGTH WITH SQUEEGEE.
3.) SERVICE TAPS SHALL BE IN LINE TEE OR MACHINE TAPPED. HAND TAPS SHALL NOT BE ALLOWED
4.) SERVICE LINES SHALL BE LOCATED A MINIMUM OF TEN FEET DOWNHILL FROM THE WATER SERVICE LINE.
5.) THE CURB SHALL BE MARKED WITH "X" WHERE THE SERVICE LINE CROSSES THE CURB.
6.) JOINTS SHALL BE WATER TIGHT.

SANITARY SEWER SERVICE DETAIL



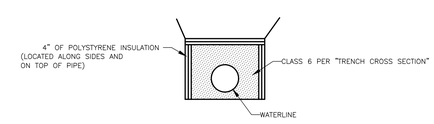
IDENTIFICATION MARKS ON POSTS SHALL BE 3" DIA. CIRCLES BROKEN IN VERTICAL CENTER () POINTING TO APPURTENANCE, WITH 1" STENCILS INSIDE CIRCLE INDICATING TYPE OF APPURTENANCE (MH, 12" GATE VALVE, ETC.) AND THE DISTANCE IN FEET AND INCHES FROM POST.

HYDRANT BOLLARD



ELEVATION WATERLINE/CULVERT CROSSING

NO SCALE



INSULATION SECTION

NO SCALE

NOTE: AS DRAWN, THE INSULATION DETAIL ADDRESSES CULVERT CROSSINGS. PROVIDE THE SAME DETAIL FOR THOSE INSTANCES WHERE THE WATERLINE IS INSTALLED WITHIN 5' OF OPEN AIR.

Graphic Scale
0 1 1 2
In Feet: 1" = 1'

SGM
118 West Sixth Street, Suite 200
Glenwood Springs, CO 81601
970.945.1004
www.sgm-inc.com

COLORADO LICENSED PROFESSIONAL ENGINEER 28152 12/10/25

Right Move Storage
Rifle, Colorado

#	Revision	Date	By:
1			
2			
3			

Project Milestone: PRELIMINARY NOT FOR CONSTRUCTION

Job No.	2025-401.001
Drawn by:	AY
Print Date:	12.10.2025
QC: XX	PE: JSS
File:	Right Move- Utility Details

Title:

Utility Details (2)

Dwg No.
12
Of: 12

I:\2025\2025-401-moststorage\001-civil\H-Dwgs\Civil\ps-sheetset\Right Move- Utility Details.dwg Plotted: 12/10/2025 9:46 AM By: Andrew Young